

**MOORPARK CITY COUNCIL  
AGENDA REPORT**

**TO: Honorable City Council**

**FROM: Barry K. Hogan, Community Development Director** 

**DATE: August 10, 2006 (CC Meeting of 9/20/06)**

**SUBJECT: Consider Resolution Approving Amendment No. 1 to Downtown Specific Plan No. 1995-01, A Request to Amend the Downtown Specific Plan to Provide More Specific Direction Regarding Development and Architectural Style in the Commercial and Residential Areas**

**BACKGROUND**

In October 2005, the City Council adopted an interim moratorium on development in non-residential zones of the Downtown Specific Plan Overlay Zone and on decreased parking requirements in the downtown area. In December the Council extended the ordinance until December 7, 2006, at which time the moratorium will expire. The moratorium could be lifted earlier by the Council upon adoption of new parking requirements and development regulations. The City hired Architect Roger Cantrell to review the final draft of the Specific Plan text and to provide photosimulations on the existing commercial development on High Street and Moorpark Avenue to demonstrate how those business owners might change the building elevations to meet the Specific Plan requirements. To address the issues, the following items must be amended:

- The Downtown Specific Plan text and exhibits
- Moorpark Municipal Code Title 17 (Zoning): Chapter 17.24 – Lot Area and Coverage, Setbacks, Heights and Related Provisions; Chapter 17.32 – Parking, Access and Landscaping Requirements; and Chapter 17.72 – Downtown Specific Plan Overlay Zone (SP-D)

Proposed amendments to the Downtown Specific Plan text and exhibits are discussed further in this report. Proposed amendments to the above referenced Municipal Code chapters are discussed in a separate report on this same agenda. The Planning Commission heard this item at a public hearing on June 27 and July 25 of this year and recommended approval.

## **DISCUSSION**

The Moorpark Downtown Specific Plan was adopted by Resolution No. 1998-1515 on October 7, 1998. When the City Council adopted Resolution No. 1998-1515, it included the text of the Specific Plan, all 181 pages. The Specific Plan is comprised of five sections:

- Introduction
- Land Use and Zoning
- Circulation and Streetscape Beautification
- Public Utilities, Infrastructure, Services and Safety
- Implementation and Administration of the Specific Plan.

This proposed amendment covers the following:

- A general renumbering of the sections, tables, figures and pages throughout the Specific Plan due to the amendment of Sections 2.0 and 3.0 and to provide ease in use of the Specific Plan
- Amendment to Section 2.0 Land Use and Zoning
- Amendment to Section 3.0 Circulation and Streetscape Beautification

The Planning Commission report, with the full analysis of the proposed amendments to the Specific Plan, is attached. The Planning Commission concurred with all of the staff recommended changes and adopted Resolution No. PC-2006-505. The Planning Commission's recommendation also clarified that "4-sided" architecture on High Street should be used when the buildings are not constructed to the side property line (see Subsection 2.2.5 B.2.g). Changes to the Consolidation and Incentives Subsection 2.3.3 were made to Table 6 to substitute "units" for "lots and to add "er" to "high" and changes were made to Section 3.8 Parking to substitute "shall" for "should." All of the changes since the Planning Commission report are shown as underlined and strikeout in the draft City Council Resolution.

## **PROCESSING TIME LIMITS**

Time limits have been established for the processing of these amendments through the adoption of the extension of the downtown moratorium which will expire on December 7, 2006. The following timelines have been established for action on this project:

<b>Planning Commission Action Deadline:</b>	<b>September 26, 2006</b>
<b>City Council Action Deadline First Reading:</b>	<b>October 18, 2006</b>
<b>City Council Action Deadline Second Reading:</b>	<b>November 1, 2006</b>

If the Council concurs with the proposed amendments, staff would bring back the revised Specific Plan and adopting resolution on the Consent Calendar no later than the regular meeting of November 1, 2006, with an effective date that coincides with the related Zoning Ordinance.

Due to the expected length of the September 20, 2006 City Council meeting staff would present the report and then ask the Council to open the public hearing, accept public testimony and continue the public hearing to a time and date certain.

### **ENVIRONMENTAL DETERMINATION**

In accordance with the City's environmental review procedures adopted by resolution, the Community Development Director determines the level of review necessary for a project to comply with the California Environmental Quality Act (CEQA). Some projects may be exempt from review based upon a specific category listed in CEQA. Other projects may be exempt under a general rule that environmental review is not necessary where it can be determined that there would be no possibility of significant effect upon the environment. A project which does not qualify for an exemption requires the preparation of an Initial Study to assess the level of potential environmental impacts. The Director has reviewed this project and found it to qualify for a General Rule Exemption in accordance with Section 15061 of California Code of Regulations (CEQA Guidelines). No further environmental documentation is required.

### **STAFF RECOMMENDATION**

Open the public hearing, take testimony and continue the public hearing open to a time and date certain.

### **ATTACHMENTS:**

1. Planning Commission agenda reports of June 27, 2006 and July 25, 2006 (without attachments).
2. Planning Commission Resolution No. PC-2006-505 (without attachments).
3. Draft City Council Resolution.

**MOORPARK PLANNING COMMISSION  
AGENDA REPORT**

**TO:** Honorable Planning Commission

**FROM:** Barry K. Hogan, Community Development Director 

**DATE:** March 13, 2006 (PC Meeting of 06/27/06)

**SUBJECT:** Consider Amendment No. 1 of Downtown Specific Plan No. 1995-01, A Request to Amend the Downtown Specific Plan to Provide More Specific Direction Regarding Development and Architectural Style in the Commercial and Residential Areas

**BACKGROUND**

In October 2005, the City Council adopted an interim moratorium on development in non-residential zones of the Downtown Specific Plan Overlay Zone and on decreased parking requirements in the Downtown area. In December the Council extended the ordinance until December 8, 2007, at which time the moratorium will expire. The moratorium could be lifted earlier by the Council upon adoption of new parking requirements and development regulations. To address the issues the following items must be amended:

- Chapter 17.24 - Lot Area and Coverage, Setbacks, Heights and Related Provisions
- Chapter 17.32 - Parking, Access and Landscaping Requirements
- Chapter 17.72 – Downtown Specific Plan Overlay Zone (SP-D)
- The Downtown Specific Plan text and exhibits

Proposed amendments to the above referenced chapters are discussed in a separate report on this same agenda. Discussion of the proposed amendments to the Downtown Specific Plan text and exhibits are discussed further in this report.

**DISCUSSION**

The Moorpark Downtown Specific Plan was adopted by Resolution 98-1515 on October 7, 1998. When the City Council adopted Resolution 98-1515 it included the text of the Specific Plan, all 181 pages. The Specific Plan is comprised of five sections:

- Introduction
- Land Use and Zoning
- Circulation and Streetscape Beautification
- Public Utilities, Infrastructure, Services and Safety
- Implementation and Administration of the Specific Plan.

This proposed amendment covers the following:

- A general renumbering of the Sections, Tables, Figures and pages due to the amendment and to provide ease in use of the Specific Plan
- Amendment to Section 2.0 Land Use and Zoning
- Amendment to Section 3.0 Circulation and Streetscape Beautification

Section 2.0: Land Use and Zoning: This section would be entirely deleted and replaced with Attachment 1. Staff has removed all of the repetition of the Zoning Ordinance for the various zones, signage, and parking and clarified the guidelines for development in the Residential and Commercial areas. In particular, the Commercial area has been tailored to provide a more eclectic architectural pallet for High Street, eliminating the "Western Themed" architecture and focusing on the "Early American Commercial" and "Spanish Mission" architectural styles. Photosimulations of existing buildings have been included to illustrate the potential for change consistent with the amended Specific Plan Guidelines. The photosimulations are not requirements but merely a depiction of one way in which the existing buildings could be modified to meet the Guidelines. The Guidelines do not require the retrofitting of the existing commercial buildings.

Section 3.0: Circulation and Streetscape Beautification: This section would be entirely deleted and replaced with Attachment 2. Staff has removed all of the repetition of the Zoning Ordinance with respect to the Circulation Element of the General Plan and to the parking sections of the zoning ordinance. In particular, Figure 7 has been removed since it is a repeat of the Circulation Element Map. Figures 8, 9, 10, 11, 12, 13 and 14 have been deleted since they are not representative of the concept for the area. New figures have not been substituted. The amended design and development standards allow for a broader variety of development than shown in the previous conceptual site plans.

### **ANALYSIS**

The moratorium was adopted to allow the City to address two particular issues, parking and commercial development standards. In order to address these issues without a wholesale restructuring of the Specific Plan, staff has proposed to amend Sections 2 and 3 in their entirety.

Section 2.0. Land Use and Zoning: The most significant change in this section is to provide greater design direction relative to commercial development on High Street and Moorpark Avenue. References to the "western" themed architecture have been replaced with Early American Commercial and Spanish Mission Commercial styles of architecture. Working with an architect, Roger Cantrell, staff and the architect have developed photosimulations taking the existing buildings and applying the development and design guidelines. Examples using photosimulations of "this" not "that" are provided to show how the proposed design and development requirements can be met on the existing buildings. Also included are examples of existing buildings that show architecture that might be used to meet the design guidelines for the commercial area. Both the photosimulations and the commercial building examples are shown as Appendix 1 and 2. The City's Zoning Ordinance contain the latest list of uses, development requirements such as setbacks, building height, lot size, lot width and depth, second dwelling units and sign requirements. No changes in the land use plan or the existing zoning map are proposed. The other significant change is to the incentive program contained in Section 2.3.3. This section has been revised so that the incentive program works better with the existing lot sizes in the target area, i.e. RPD zoned land. The development and design requirements must still be met in order to achieve the increased density.

Amendment to Section 3.0 Circulation and Streetscape Beautification: The most significant change in this section is the deletion of the figures showing the Vision Plan since they no longer represent the vision for the downtown specific plan commercial areas. The previous circulation section has been eliminated in favor of compliance with the City's Circulation Element. There was no need to repeat portions of the Circulation Element in the Specific Plan. This amendment will eliminate any future conflicts with the Circulation Element.

#### **PROCESSING TIME LIMITS**

Time limits have been established for the processing of these amendments through the adoption of the extension of the downtown moratorium which will expire on December 8, 2006. The following timelines have been established for action on this project:

<b>Planning Commission Action Deadline:</b>	<b>September 26, 2006</b>
<b>City Council Action Deadline First Reading:</b>	<b>October 18, 2006</b>
<b>City Council Action Deadline Second Reading:</b>	<b>November 1, 2006</b>

#### **ENVIRONMENTAL DETERMINATION**

In accordance with the City's environmental review procedures adopted by resolution, the Community Development Director determines the level of review necessary for a project to comply with the California Environmental Quality Act (CEQA). Some projects may be exempt from review based upon a specific category listed in CEQA. Other projects may be exempt under a general rule that environmental review is not necessary where it can be determined that there would be no possibility of significant effect upon the environment. A

project which does not qualify for an exemption requires the preparation of an Initial Study to assess the level of potential environmental impacts.

The Director has reviewed this project and found it to qualify for a General Rule Exemption in accordance with Section 15061 of California Code of Regulations (CEQA Guidelines). No further environmental documentation is required.

**STAFF RECOMMENDATION**

1. Open the public hearing, accept public testimony and close the public hearing.
2. Adopt Resolution No. PC-2006-\_\_\_\_\_ recommending to the City Council approval of Amendment 1 to the Downtown Specific Plan.

**ATTACHMENT:**

Draft Resolution recommending to the City Council approval of Amendment 1 to the Downtown Specific Plan.

**MOORPARK PLANNING COMMISSION  
AGENDA REPORT**

**TO:** Honorable Planning Commission

**FROM:** Barry K. Hogan, Community Development Director 

**DATE:** July 18, 2006 (PC Meeting of 07/25/2006)

**SUBJECT:** Consider Amendment No. 1 of Downtown Specific Plan No. 1995-01, A Request to Amend the Downtown Specific Plan to Provide More Specific Direction Regarding Development and Architectural Style in the Commercial and Residential Areas

**BACKGROUND/DISCUSSION**

Staff presented this project to the Planning Commission on June 27 2005 (staff report attached) concurrently with proposed Zoning Ordinance Amendment No. 2005-03. At its meeting, the Planning Commission questioned staff on the required timeframe for revisions to the downtown area, parking requirements, incentives for commercial or redevelopment area property owners, and the possible addition of "smart" shops. The public hearing was opened and testimony was received from two property owners, both expressing concerns over parking standards related to requiring reciprocal access and parking. The Planning Commission continued the item with the public hearing still open to its July 25, 2006 meeting.

**STAFF RECOMMENDATION**

1. Continue to accept public testimony and close the public hearing.
2. Adopt Resolution No. PC-2006-\_\_\_\_\_ recommending to the City Council approval of Amendment No. 1 to the Downtown Specific Plan.

**ATTACHMENTS:**

1. June 27, 2006 Planning Commission Staff Report (without Resolution).
2. Draft Resolution recommending to the City Council approval of Amendment No. 1 to the Downtown Specific Plan.

RESOLUTION NO. PC-2006-505

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MOORPARK, CALIFORNIA, RECOMMENDING TO THE CITY COUNCIL APPROVAL OF AMENDMENT NO. 1 OF SPECIFIC PLAN NO. 1995-01, A REQUEST TO AMEND SECTIONS 2 AND 3 OF THE DOWNTOWN SPECIFIC PLAN TO PROVIDE MORE SPECIFIC DIRECTION REGARDING DEVELOPMENT AND ARCHITECTURAL STYLE IN THE COMMERCIAL AND RESIDENTIAL AREAS

WHEREAS, on December 8, 2005, the City Council adopted a moratorium on development in non-residential zones of the Downtown Specific Plan Overlay Zone and on decreased parking requirements in the Downtown area which expires on December 8, 2006; and

WHEREAS, at the meetings of June 27 and July 25, 2006, the Planning Commission conducted a duly-noticed public hearing on Amendment No. 1 of Specific Plan No. 1995-01, a request to amend Sections 2 and 3 of the Downtown Specific Plan to provide more specific direction regarding development and architectural style in the commercial and residential areas, received public testimony on the proposed amendments, and after receiving oral and written public testimony, closed the public hearing and reached a decision; and

WHEREAS, the Planning Commission concurs with the Community Development Director's determination that this project is exempt from the provisions of the California Environmental Quality Act by the general rule that CEQA only applies to projects that may have a significant effect on the environment.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF MOORPARK DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. GENERAL PLAN AND SPECIFIC PLAN CONSISTENCY: The Planning Commission finds the proposed Amendment No. 1 of Specific Plan No. 1995-01, a request to amend Sections 2 and 3 of the Downtown Specific Plan to provide more specific direction regarding development and architectural style in the commercial and residential areas, is consistent with the City of Moorpark General Plan and all adopted Specific Plans.

SECTION 2. RECOMMENDATION: The Planning Commission recommends to the City Council approval of Amendment No. 1 of Specific Plan No. 1995-01, a request to amend Sections 2 and 3 of the Downtown Specific Plan to provide more specific direction regarding development and architectural style in the commercial and residential areas, as recommended by staff and shown in Exhibits 1 and 2, attached.

SECTION 3. CERTIFICATION OF ADOPTION: The Community Development Director shall certify to the adoption of this resolution and shall cause a certified resolution to be filed in the book of original resolutions.

The action of the foregoing direction was approved by the following vote:

AYES: Commissioners DiCecco, Peskay, Pozza and Vice Chair Taillon

NOES:

ABSTAIN:

ABSENT: Chair Landis

PASSED AND ADOPTED THIS 25<sup>th</sup> DAY OF JULY, 2006.

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Kipp A. Landis, Chair

ATTEST:

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Barry K. Hogan  
Community Development Director

Exhibit 1: Section 2  
Exhibit 2: Section 3  
Exhibit 3: Commercial Photosimulations

RESOLUTION NO. 2006-\_\_\_\_\_

A RESOLUTION OF THE CITY OF COUNCIL OF THE CITY OF MOORPARK, CALIFORNIA, APPROVING AMENDMENT NO. 1 TO SPECIFIC PLAN NO. 1995-01 REVISING SECTIONS 2 AND 3 OF THE DOWNTOWN SPECIFIC PLAN TO PROVIDE MORE SPECIFIC DIRECTION REGARDING DEVELOPMENT AND ARCHITECTURAL STYLE IN THE COMMERCIAL AND RESIDENTIAL AREAS AND REVISING NUMBERING THROUGHOUT THE SPECIFIC PLAN

WHEREAS, on October 7, 1998, the City Council adopted Resolution 98-1515, approving Specific Plan No. 1995-01 (Downtown Specific Plan); and

WHEREAS, on December 7, 2005, the City Council adopted a moratorium on development in non-residential zones of the Downtown Specific Plan Overlay Zone and on decreased parking requirements in the Downtown area which expires on December 7, 2006; and

WHEREAS, at its meeting of June 27, 2006 and July 18, 2006, the Planning Commission conducted a duly-noticed public hearing on Amendment No. 1 to Specific Plan No. 1995-01, a request to amend Sections 2 and 3 of the Downtown Specific Plan to provide more specific direction regarding development and architectural style in the commercial and residential areas, received public testimony on the proposed amendments, and after receiving oral and written public testimony, closed the public hearing and reached a decision, recommending approval of Amendment No. 1; and

WHEREAS, at its meeting of September 20, 2006, the City Council conducted a duly-noticed public hearing on Amendment No. 1 to Specific Plan No. 1995-01, a request to amend Sections 2 and 3 of the Downtown Specific Plan to provide more specific direction regarding development and architectural style in the commercial and residential areas, received public testimony on the proposed amendments, and after receiving oral and written public testimony, closed the public hearing and reached a decision; and

WHEREAS, the City Council concurs with the Community Development Director's determination that this project is exempt from the provisions of the California Environmental Quality Act by the general rule that CEQA only applies to projects that may have a significant effect on the environment.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF MOORPARK DOES ORDAIN AS FOLLOWS:

SECTION 1. The City Council finds Amendment No. 1 of the Specific Plan No. 1995-01 is consistent with the City of Moorpark General Plan.

SECTION 2. The City Council approves Amendment No. 1 to Specific Plan No. 1995-01 to amend Sections 2 and 3 of the Downtown Specific Plan to provide more specific direction regarding development and architectural style in the commercial and residential areas, as recommended by staff and shown in Exhibits 1 and 2 attached, and to incorporate a general renumbering of the sections, tables, figures and pages throughout the Specific Plan.

SECTION 3. If any section, subsection, sentence, clause, phrase, part or portion of this Resolution is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Resolution. The City Council declares that it would have adopted this Resolution and each section, subsection, sentence, clause, phrase, part or portion thereof, irrespective of the fact that any one or more section, subsections, sentences, clauses, phrases, parts or portions be declared invalid or unconstitutional.

SECTION 4. The City Clerk shall certify to the adoption of this resolution and shall cause a certified resolution to be filed in the book of original resolutions.

PASSED AND ADOPTED this 20<sup>th</sup> day of September, 2006.

\_\_\_\_\_  
Patrick Hunter, Mayor

ATTEST:

\_\_\_\_\_  
Deborah S. Traffenstedt, City Clerk

Exhibit 1: Section 2  
Exhibit 2: Section 3  
Exhibit 3: Commercial Photosimulations

## **EXHIBIT 1**

### **2.1.1 Planned Land Use and Zoning**

As discussed in Section 1.5, Relationship to City Plans and Programs, the City's General Plan sets forth a number of policies that encourage revitalization of the downtown with respect to land uses, parking, and business attraction. In order to further this goal, a Specific Plan Overlay zone has been established which sets forth development requirements that are different from those of the base zoning within the Downtown Specific Plan area. The specific land uses and zoning for the Downtown Specific Plan Area are shown on Figure 5 and 6. The development requirements indicated in Section 2.2 of this Specific Plan take into account the existing downtown conditions and General Plan policies to intensify land use, increase aesthetics, as well as plan for a mix of neighborhood commercial, general commercial, office, single and multi-family residential, institutional and industrial uses.

#### **A. Organization of Specific Plan Development Standards and Design Guidelines**

Sections 2.2.1 through 2.2.8 of this Specific Plan address the land use, zoning and permitted and conditional uses in the Specific Plan. These sections are categorized into specific site development standards and more general design guidelines. Each category is discussed with respect to site planning standards, permitted density, design guidelines, and landscape standards that will guide new development or expansions of existing development within the downtown. Following the development standards and design guidelines for each zone (Sections 2.2.1-2.2.8) is a discussion of private property maintenance, renovation and expansion (Section 2.3). This section is intended to supplement the various land use standards and guidelines, as well as specify a program for lot consolidation and building renovation in the Plan area.

### **2.2 Development Standards and Guidelines for Specific Plan Zones**

#### **2.2.1 Single Family Residential-(R-1)**

##### **A. Site Development Standards**

###### **1. Land Use and Permitted Uses**

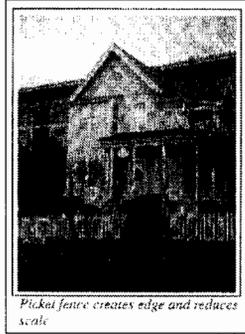
Uses in the Single Family Residential designation shall meet the requirements for the R-1 designation as shown in Chapter 17.20 of the Moorpark Municipal Code.

###### **2. Development Requirements**

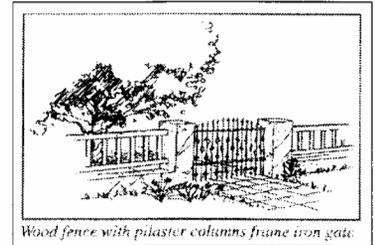
Development in the Single Family Residential designation shall meet the requirements for the R-1 designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code.

### 3. Fences and Walls

Fence design shall be used to reinforce the architectural theme of the house but shall meet the requirements of Chapter 17.24 of the Moorpark Municipal Code.



a. Low, painted picket fences or solid stone or brick walls, a maximum of three (3) feet high, are encouraged around front yards promoting an open neighborhood atmosphere.



b. Tile detailing is encouraged in such

cases where column pilasters may be used.

### 4. Parking and Signage

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

### 5. Second Dwellings

Second dwellings shall meet the requirements of Section 17.28.020G of the Moorpark Municipal Code.

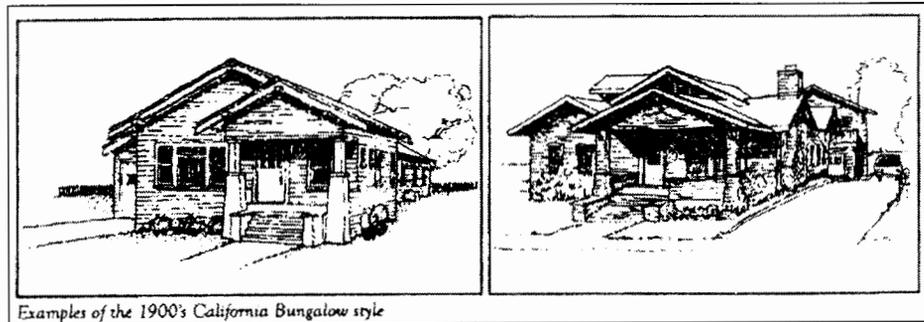
### 6. Maintenance and Renovation:

Quality maintenance of existing buildings and parcels, combined with gradual progression in meeting design goals for this land use designation are encouraged. To this end, the maintenance guidelines and incentives outlined in section 2.3.1 to 2.3.2 apply to the Single Family Residential designation.

## B. Design Guidelines

### General Character -1900's California Bungalow and Early American

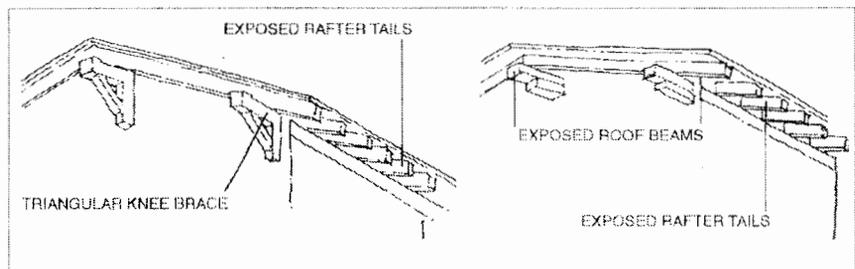
These design guidelines shall apply to all Single Family Residential areas in the Specific Plan area. Downtown residential architecture consists primarily of early 1900's California bungalow style, integrated with Early American style structures. These guidelines apply to new construction as well as replacement and expansion of existing structures to preserve and strengthen historic neighborhood character. Modern interpretations of these styles are also acceptable if they maintain integrated massing and blend with the surrounding neighborhood.



## 1. Building Form and Massing

All housing constructed within the Single Family Residential areas of the Specific Plan must be consistent with the Moorpark General Plan.

- a. The buildings and building additions should be carefully massed and articulated to blend with the existing historic neighborhood. Building additions and expansions should be of similar form and proportionally massed with the existing structure.
- b. The building mass should be softened with architectural features such as garden walls, porches, balconies, and trellises.
- c. The building form should clearly define entries using roof forms, stoops (elevated porch), and porches.
- d. The building form should de-emphasize garages and garage doors by locating them behind the main building.



*Exposed structural elements reinforce early California building styles*

## 2. Roof Form

Roof forms and details must be consistent with the Early American and California Bungalow style architecture of the surrounding neighborhood. Dormers, eaves, exposed rafter tails; exposed roof beams, detailed corbels, and triangular knee braces are common elements of this style. Appropriate roof forms include gable, shed, and hip roofs with a low pitch (3:12 -4:12).

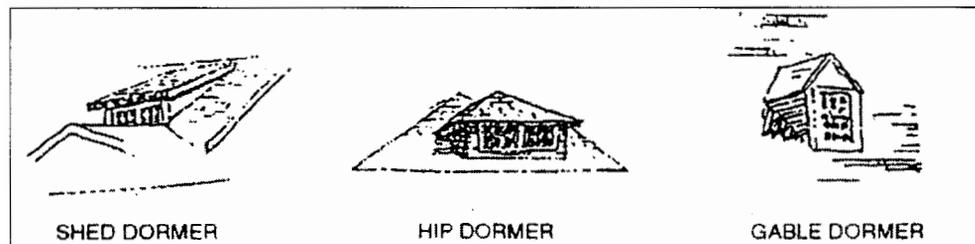
- a. Mansard roof forms should only be used when and if the building emulates a traditional style that employs mansard roofs (e.g.

Victorian, Beaux Arts, etc.). The following guidelines should apply to buildings with such roof form;

1. Dormer windows and other architectural features should occupy a minimum of twenty-five percent (25%) of the roof length.
2. Buildings should be three (3) stories in height.
3. Roof design should enclose no more and no less than one (1) floor of habitable space.



Good single-family bungalow example

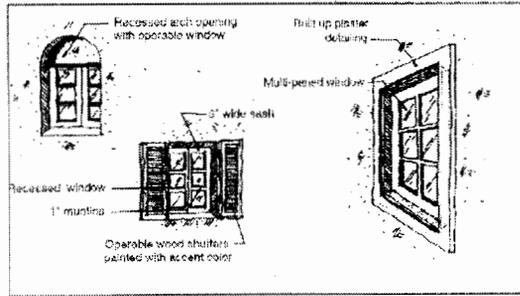


### 3. Materials

Building materials should reflect quality, durability and consistency, when possible, with the materials used throughout the surrounding neighborhood. Appropriate building materials include horizontal and vertical wood siding, stucco of varying surfaces and brick and stone occasionally used as accents, particularly along the building base.

- a. Appropriate roofing materials include architectural grade asphalt shingles, concrete tile or slate, or integrally colored concrete roof tiles. Shake roofs are not permitted due to their high fire hazard nature.
- b. All stucco wall materials should be smooth, unsanded surfaces to prevent collection of dirt, surface pollutants, and surface paint deterioration. Textured stucco is not encouraged unless the application is hand troweled or float finished.
- c. Vivid stripes, arches, tile inlay, or similar architectural accents should be used to reinforce traditional style.

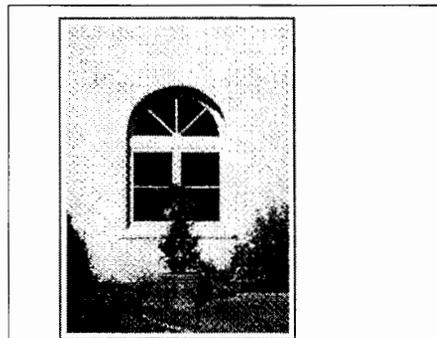
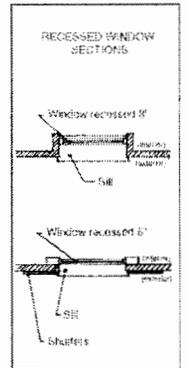
## 4. Windows



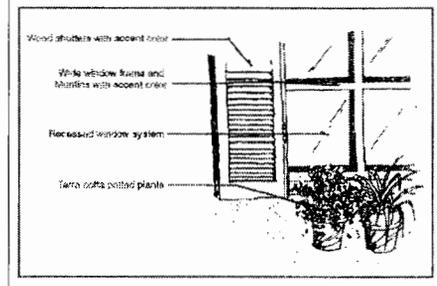
Window proportions and detailing should reflect the architectural style of the early 1900's by incorporating key elements such as recessed windows, wood framing, detailed or ornamental molding around openings, multi-paned windows and window flower boxes.

a. All windows within a building should be related in operating type, proportion and trim. Unifying elements such as common sill or header lines are preferred.

b. Window placement should consider privacy of adjacent residences.



*Arched window with wide wood trim*



c. Vertical rather than horizontal windows are consistent with the desired bungalow and Victorian style architecture and are encouraged.

d. Painted wood window accents reflects the Victorian and bungalow style architecture and is encouraged. Built-up sills and trim should be used to create surface relief and texture.

e. Glass should be inset a minimum of three (3) inches from the exterior wall surface to add relief, especially in stucco buildings.

f. Silver or gold metal window frames with large, glazed glass panes and dark tinted or reflective glass are discouraged.

## 5. Front Doors and Garage Doors

Front doors as well as garage doors are a critical, visual element and should be carefully selected and detailed.

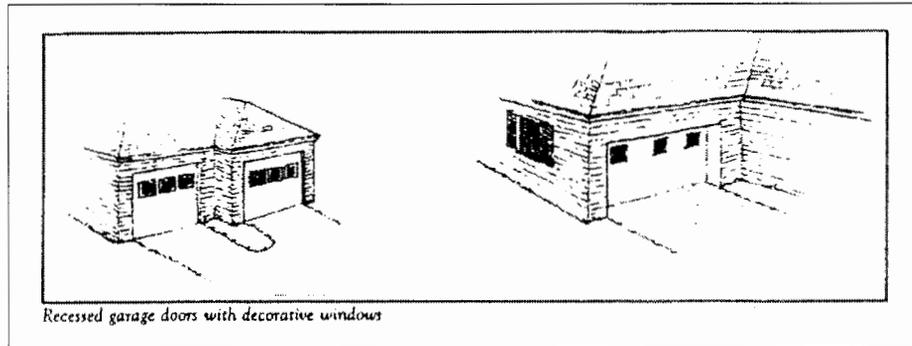


*Nice front entry example*

a. Front doors should be wood with decorative panels and/or multi-paned windows.

b. Metal garage doors are discouraged unless panel detailing is used.

c. Garage doors should be recessed into the garage wall and multi-paneled to provide relief. Decorative panels and/or windows are encouraged. Decorative panels and/or windows are encouraged.



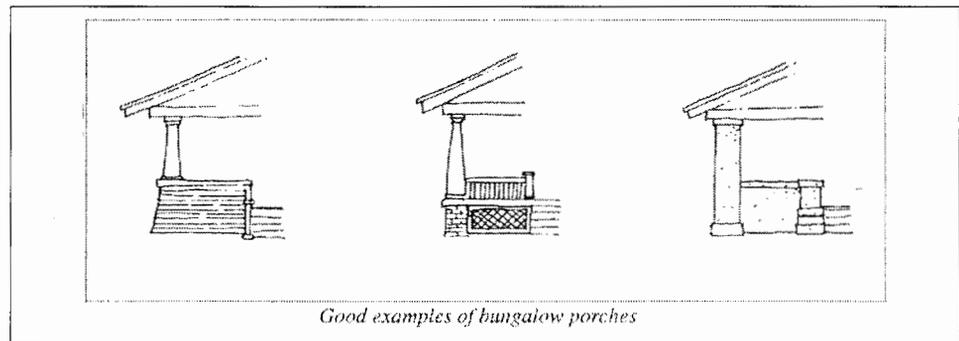
*Recessed garage doors with decorative windows*

## 6. Front Porches

Front porches are a key architectural element which help define the home entry, unify the neighborhood street scene and encourage physical activity near the street.

a. Elevated porches with gable overhangs are traditional elements of the bungalow architectural style and are encouraged.

b. Victorian and bungalow style porches should include overhangs, heavy wood trellis structures or traditional lattice or picket surround courtyards whenever possible.



*Good examples of bungalow porches*

### 7. Garbage/Recycling Areas

Storage areas for garbage and recycling bins shall be provided unless provision for storage is made inside the garage. Storage areas should be shielded from street view using landscaping or fencing on all sides.

### 8. Mechanical Equipment

Mechanical equipment, satellite dishes, and utility meters should be screened from view using landscaping, decorative fencing or roof parapets. Whenever possible, roof-mounted equipment should not be permitted unless it is screened from view.

### 9. Accessory Structures

Trellis, pergolas, gazebos and other outdoor structures are encouraged provided they meet the requirements of Chapter 17.24 of the Moorpark Municipal Code. Materials and colors should match or complement those of the main residence.

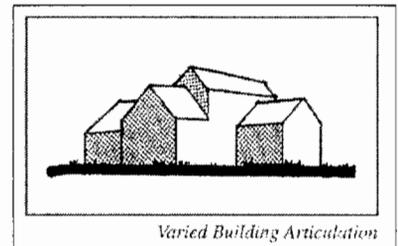


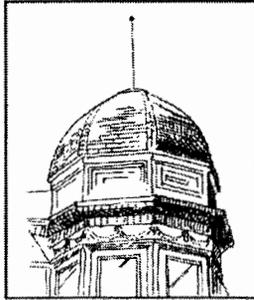
### 10. Energy Efficiency

Structures should be designed to incorporate passive and active solar features, when possible.

### 11. Wall Articulation

All building walls should have staggered planes to create interest. Avoid large blank wall surfaces. Architectural elements that add scale or interrupt the wall façade are encouraged, such as trellises, bay windows, courtyards, and porches.





*Turrets, "eyebrows," and other special features are common with Victorian architecture*



*A variety of elements adds interest to the wall plane*

## **C. Landscape Guidelines**

New planting within the Single Family Residential zone should be consistent with the Suggested Plant Palette shown in Table 5 of this Specific Plan Section and with the City's Landscape Guidelines.

### **1. Planting**

Water is a limited resource in California and drought remains a recurrent environmental concern which should be addressed within the overall landscape design. Landscaping materials should be selected with consideration for water requirements over the lifetime of the plants. The use of plants with low water requirements, particularly plants that are considered drought-tolerant, and the use of efficient irrigation systems is strongly recommended.

- a. Eighty percent of the selected plant material should be drought tolerant.
- b. All planting area watering systems should be properly designed to conserve water and minimize the amount of runoff.
- c. Conservation techniques such as the use of drip irrigation should be explored and, given the soil constraints, may be the most effective means of irrigating the residential landscape. Urban runoff from buildings, for example air conditioning units, may be reclaimed and used for landscape irrigation purposes.
- d. Plants should be arranged in groups and spaced to allow them to develop in masses. Avoid spacing plants so far apart that individual shaping is a temptation, unless they are designated as a single specimen plant.

e. Formal perennial planting may be appropriate at entries or along walkways.

f. Trees should be used to create an intimate scale, enclose spaces, frame views, but their placement should respect views from downtown to the surrounding hillsides. The use of Pepper trees is encouraged.

g. Landscape structures (decks, trellises, arbors, gazebos, etc.) should be used to provide entry accents, shade or enhance the building structure. Colors applied to the structure must be complimentary to the building. ~~Plastic and metal structures are not permitted.~~

**Table 5**  
**DOWNTOWN SPECIFIC PLAN SUGGESTED PLANT PALETTE**

	<i>BOTANICAL NAME</i>	<i>COMMON NAME</i>
<b>GROUNDCOVERS:</b>	<i>Baccharis pufifaris</i> 'Twin Peaks'	Coyote Brush
	<i>Cerastium tomentosum</i>	Snow in Summer
	<i>Festuca ovina</i> 'Glaucia'	Blue Fescue
	<i>Gazania</i> ssp.	NCN
	<i>Hedera helix</i>	English Ivy
	<i>Hypericum calycinum</i>	St. Johnswort
	<i>Juniperus conferta</i>	Shore Juniper
	<i>Lantana montevidensis</i>	NCN
	<i>Liriope spicata</i>	Creeping Lily Turf
	<i>Lonicera japonica</i>	Japanese Honeysuckle
	<i>Pelargonium peltatum</i> 'Balcan'	Ivy Geranium
	<i>Rosmarinus officinalis</i>	Rosemary
	<i>Trachelospermum jasminoides</i>	Star Jasmine
	<i>Verbena peruviana</i>	NCN
<b>VINES:</b>	<i>Rose</i> ssp.	Old-Fashioned Climbing Rose
	<i>Distictis buccinatoria</i>	Blood-red Trumpet Vine
	<i>Ficus pumila</i>	Creeping Fig
	<i>Hardenbergia violacea</i>	Happy Wanderer
	<i>Jasminum polyanthum</i>	Pink Jasmine
	<i>Mandevilla</i> 'Alice du Pont'	NCN
<i>Passiflora elatocaeerulea</i>	Passion Vine	
<b>SHRUBS and PERENNIALS:</b>	<i>Agapanthus</i> ssp.	Lily of the Nile
	<i>Cistus</i> ssp.	Rockrose
	<i>Cornus sericea</i>	Redtwig Dogwood
	<i>Dietes vegeta</i>	Fortnight Lily
	<i>Diosma pulchrum</i>	Breath of Heaven
	<i>Echium fastuosum</i>	Pride of Madiera
	<i>Erigeron karvinskianus</i>	Santa Barbara Daisy
	<i>Euryops pentinatus</i> 'Viridis'	Euryops Daisy
	<i>Ilex</i> ssp.	Holly
	<i>Hemerocallis</i> hybrids	Daylily
	<i>Hibiscus rosa-sinensis</i>	Hibiscus
	<i>Hydrangea macrophylla</i>	Garden Hydrangea
	<i>Lantana</i> ssp.	NCN
	<i>Lavandula</i>	Lavender
	<i>Ligustrum</i> ssp.	Privet
	<i>Lycianthes rantonnei</i>	Paraguay Nightshade
	<i>Pittosporum tobira</i>	NCN
	<i>Plumbago auriculata</i>	Cape Plumbago
<b>Trees:</b>	<i>Raphiolepis indica</i>	Indian Hawthorne
	<i>Rose</i> ssp.	Rose
	<i>Salvia</i> ssp.	Sage
	<i>Syringa vulgaris</i>	Lilac
	<i>Tulbaghia violacea</i>	Society Garlic
	<i>Albizia julibrissin</i>	Silk Tree
	<i>Citrus</i>	Citrus
	<i>Ficus microcarpa</i> 'Green Gem'	Laurel Fig
	<i>Jacaranda mimosifolia</i>	Jacaranda
	<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Prunus</i> ssp.	Flowering Plum and Cherry	
<i>Schinus molle</i>	California Pepper	

Note: Additional plant species may be substituted for the species listed above, if such species are found to be consistent with the architectural themes encouraged in the Downtown Specific Plan, and will not result in damage to infrastructure or become a maintenance problem for the public streets and sidewalk areas.

NCN = No Common Name

## **2.2.2 Two-Family Residential (R-2)**

### **A. Site Development Standards**

#### **1. Land Use and Permitted Uses**

Uses in the Two-Family Residential designation shall meet the requirements for the R-2 designation as shown in Chapter 17.20 of the Moorpark Municipal Code.

#### **2. Development Requirements**

Development in the Two-Family Residential designation shall meet the requirements for the R-2 designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code.

#### **3. Parking and Signage**

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

#### **4. Maintenance and Renovation**

Maintenance and renovation for the Two-Family Residential designation shall comply with the maintenance and renovation for the Single-Family Residential designation contained in Section 2.2.1.

### **B. Design Guidelines**

Design Guidelines for the Two-Family Residential designation shall be the same as the guidelines for the Single-Family Residential designation as contained in Section 2.2.1.

### **C. Landscape Guidelines**

Landscape Guidelines for the Two-Family Residential designation shall be the same as the guidelines for the Single-Family Residential designation as contained in Section 2.2.1.

## **2.2.3 Residential Planned Development (RPD)**

### **A. Site Development Standards**

The Residential Planned Development is to provide a flexible regulatory zone to encourage creative and innovative design. These units should be well articulated as individual or collective units, and act as a transition between Single Family Residential and the Old Town Commercial Buildings. The design of the units shall generally be oriented toward the street with parking to the rear behind the units.

### 1. Land Use and Permitted Uses

Development in the Residential Planned Development designation shall meet the requirements for the RPD designation as shown in Chapter 17.24 and Chapter 17.36 and the use requirements as shown in Chapter 17.20 of the Moorpark Municipal Code.

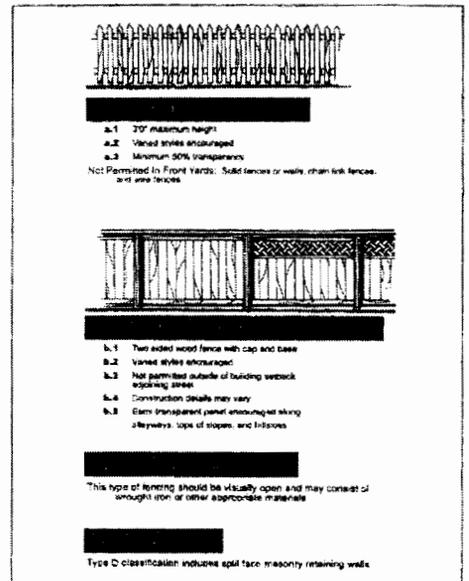
### 2. Development Requirements

The density maximums within the Residential Planned Development area have been established to encourage lot consolidation and redevelopment of under developed or declining properties. The maximum permissible density is 20 units/acre. The maximum can only be achieved when it is for a low/very low or senior housing project. Section 2.3.3 Building Expansion and Renovation provides for increases in density beyond the low end of 7 dwelling units per acre. This section allows for increased density under certain standards and conditions.

### 3. Fences and Walls

Fence design should be used to reinforce the architectural theme of the building and shall meet the requirements of Chapter 17.24 of the Moorpark Municipal Code.

- a. Low, painted picket fences or solid stone or stucco-face walls are encouraged around front yards promoting an open neighborhood atmosphere.
- b. Iron grillwork and tile detailing is encouraged on stone or stucco space walls or on corner pilasters.



### 4. Parking and Signage

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

### 5. Building Maintenance and Renovation

Quality maintenance of existing buildings and parcels, combined with gradual progression in meeting design goals for this land use designation is encouraged. To this end, the maintenance guidelines and incentives outlined in section 2.3.1 to 2.3.3 apply to the Residential Planned Development designation.

## B. Design Guidelines

In addition to the Single Family Residential guidelines, the following design guidelines apply to the Residential Planned Development areas. All housing constructed within the Residential Planned Development areas of the Specific Plan must be consistent with the Moorpark General Plan.

### **General Character-1900's California Bungalow and Early American**

Downtown neighborhood architecture primarily consists of early 1900's California bungalow style, integrated with Western-Victorian and Early American style structures. These guidelines and standards apply to new construction as well as replacement and expansion of existing structures to preserve and strengthen historic neighborhood character. Modern interpretations of these styles are also acceptable if they maintain articulated massing and blend with the surrounding neighborhood.

#### **1. Building Form and Massing**

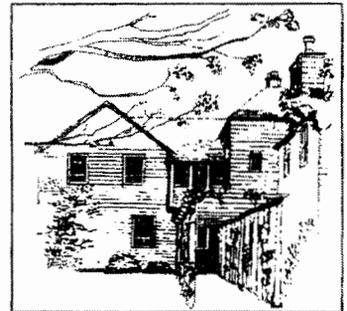
Building form and massing is particularly important for these higher density buildings. The following guidelines will emphasize varied building forms and enable renovations or new construction to blend with the surrounding small lot single family development.

a. Avoid designing buildings longer than 120 feet.

b. Buildings and building additions shall be carefully massed and articulated to blend with the existing historic Charles Street neighborhood. Building additions and expansions should be of similar form and proportionally massed with the existing structure.

c. Building mass should soften the structure's appearance with architectural features such as garden walls, porches, balconies, and trellises.

d. The building form should clearly define entries using roof forms, stoops (elevated porch), and porches.



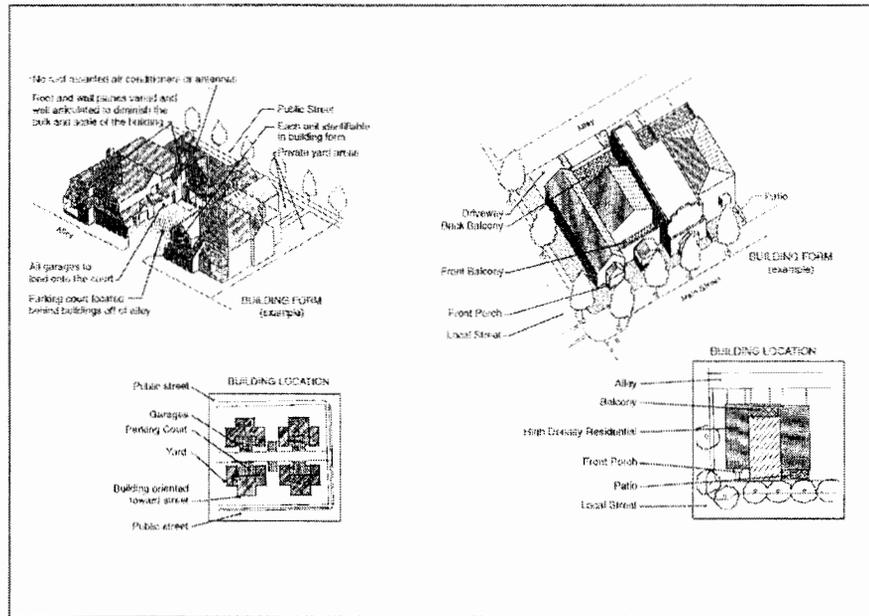
*Example of clearly-defined entry*

e. Building form should de-emphasize garages and garage doors by locating them behind the main building, when feasible. Where garages are separated from the primary structure, a breeze-way or an overhead trellis is encouraged to connect structures.

## 2. Unit Articulation

Unit articulation will help diminish the massive look of large structures, and blend with the surrounding neighborhood. These guidelines are especially pertinent to those parcels along Charles Street that may be affected by the lot consolidation (aka. Spring Road) density incentives.

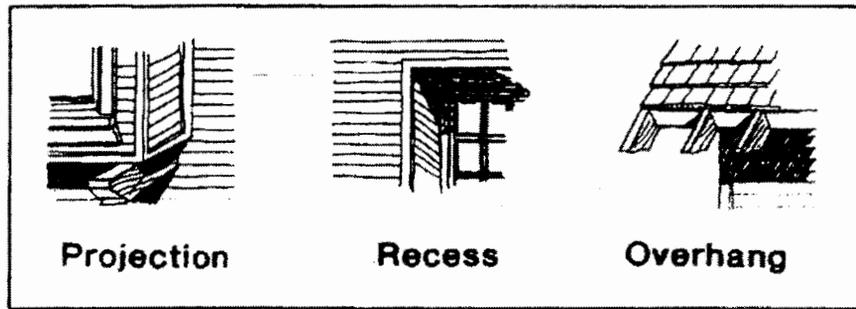
- a. The elevation of buildings backing up to public streets should be carefully articulated.
- b. Variety in roof levels and wall planes should be used to articulate buildings and reduce the building mass.
- c. To reduce the long facades of multi-family buildings they should be divided into shorter modules a maximum of 30 feet in width. This can be done with varied setbacks, vertical moldings, texture changes on the facade, porches, and balconies.



## 3. Roof Form

Multiple family buildings tend to be larger structures; it is important to articulate the roof forms to better blend these buildings with the surrounding smaller single family residential buildings.

- a. Breakup roof form with elements such as dormers, eaves, exposed rafter tails, exposed roof beams, and triangular knee braces.



*Building Articulation*

b. Appropriate roof forms include gable, shed, and hip roofs with a low pitch (3:12 -4:12).

c. Mansard roof forms should only be used when and if the building emulates a traditional style that employs mansard roofs (e.g., Victorian, Beaux Arts, etc.). The following guideline should apply to buildings with mansard roof forms.

- i. Dormer windows and other architectural features should occupy a minimum of twenty five percent (25%) of the roof length.
- ii. Buildings should be three (3) stories in height.
- iii. Roof design should enclose no more and no less than one (1) floor of habitable space.

#### **4. Materials**

Building materials should reflect quality, durability and consistency, when possible, with the materials used throughout the surrounding neighborhood.

- a. Appropriate building materials include horizontal and vertical wood siding, stucco of varying surfaces and brick and stone occasionally used as accents, particularly along the building base.
- b. Appropriate roofing materials include architectural grade asphalt shingles, standing seam metal roofing, concrete tile or slate, or clay or integrally colored concrete roof tiles. Shake roofs are not permitted due to their high fire hazard nature.
- c. All stucco wall materials should be smooth, unsanded surfaces to prevent collection of dirt, surface pollutants, and surface paint deterioration. Textured stucco is not encouraged unless the application is hand troweled or float finished.

- d. Vivid stripes, arches, tile inlay, or similar architectural accents should be used to reinforce traditional style, when appropriate.

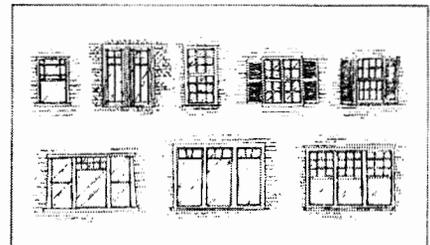


*Building materials and quality articulation should help the high density structures blend with the surrounding neighborhood*

## 5. Windows

Window proportions and detailing on new structures and renovations should reflect the architectural style of the early 1900's by incorporating key elements such as recessed windows, wood framing, detailed or ornamental molding around openings, multi-paned windows and window flower boxes. On space building additions, windows should complement windows in the existing structure.

- a. All windows within a building should be related in operating type, proportion and trim. Unifying elements such as common sill or header lines are preferred.



*Appropriate Window Orientation*

- b. Window placement should consider privacy of adjacent residences.

- c. Glass should be inset a minimum of three (3) inches from the exterior wall surface to add relief, especially in stucco buildings.

- d. Silver or gold metal window frames with large, glazed glass panes and dark tinted or reflective glass are discouraged.

## 6. Front Doors and Garage Doors

Front doors as well as garage doors are a critical, visual element and should be carefully selected and detailed.

- a. Front doors should be wood with decorative panels and/or multi-paned windows. Metal doors are discouraged unless the detailing is similar to the wood doors.

b. Metal garage doors are discouraged unless panel detailing is used.

c. Garage doors should be recessed into the garage wall and multi-paneled to provide relief. Decorative panels and/or windows are encouraged.

### 7. Front Porches

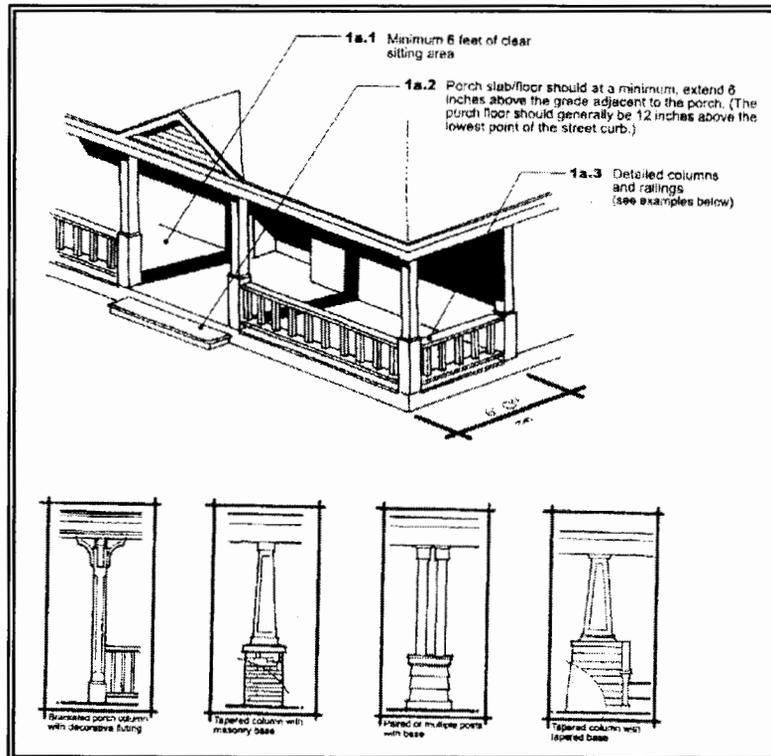
Front porches are a key architectural element which help define the home entry, unify the neighborhood street scene and encourage physical activity near the street.



Early American porch example

a. Elevated porches with gable overhangs are traditional elements of the bungalow architectural style and will help the larger structures blend with the surrounding neighborhood.

b. Early American and Victorian style porches should include large overhangs, wood post structures with traditional bracketed and tapered porch columns whenever possible.



### **8. Garbage/Recycling Areas**

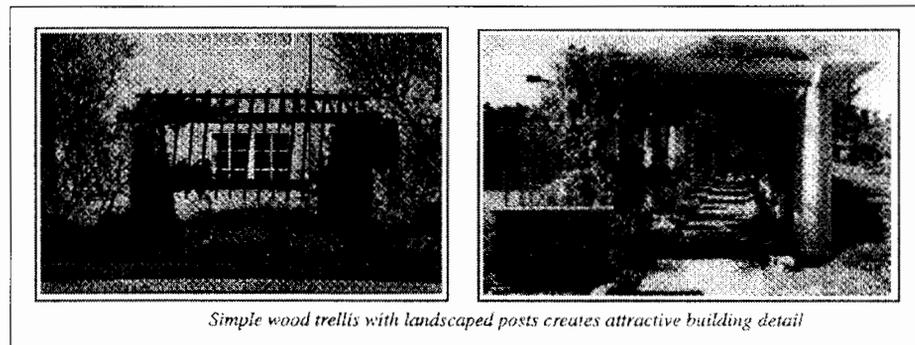
Storage areas for garbage and recycling bins shall be provided. Storage areas shall be shielded from street view using landscaping, walls or fencing on all sides consistent with City standards.

### **9. Mechanical Equipment**

Mechanical equipment and utility meters shall be screened from view using landscaping, decorative fencing or roof parapets. Whenever possible, roof-mounted equipment shall not be permitted unless it is screened from view.

### **10. Accessory Structures**

Trellises, pergolas, gazebos and other outdoor structures are encouraged provided they meet the requirements of Chapter 17.24 of the Moorpark Municipal Code. Materials and colors shall match or



complement those of the main structure.

### **11. Energy Efficiency**

Structures should be designed to incorporate passive and active solar features, when possible.

## **C. Landscape Guidelines**

New planting within the Residential Planned Development zone should be consistent with the Suggested Plant Palette (Table 5) located in Section 2.2.1 C of this Specific Plan.

### **1. Planting**

Water is a limited resource in California and drought remains a recurrent environmental concern that should be addressed within the overall landscape design. Landscaping materials should be selected with consideration for water requirements over the lifetime of the plants. The use of plants with low water requirements, particularly

plants that are considered drought-tolerant, and the use of efficient irrigation systems is strongly recommended.

a. Eighty percent of the selected plant material must be drought tolerant.

b. All planting area watering systems should be properly designed to conserve water and minimize the amount of runoff.

c. Conservation techniques such as the use of drip irrigation should be explored and, given the soil constraints, may be the most effective means of irrigating the residential landscape. Urban runoff from buildings, for example air conditioning units, may be reclaimed and used for landscape irrigation purposes.

d. Plants should be arranged in groups and spaced to allow them to develop in masses. Avoid spacing plants so far apart that individual shaping is a temptation, unless they are designated as a single specimen plant.

e. Formal perennial planting may be appropriate at entries or along walkways.

f. Trees should be used to create an intimate scale, enclose spaces, frame views, but their placement should respect views from downtown to the surrounding hillsides.

g. Landscape structures (decks, trellises, arbors, gazebos, etc.) should be used to provide entry accents, shade or enhance the building structure. Colors applied to the structure must be complimentary to the building. Plastic and metal structures are discouraged.

#### **2.2.4 Office (C-0)**

##### **A. Site Development Standards**

###### **1. Land Use and Permitted Uses**

Uses in the Office designation shall meet the requirements for the C-O designation as shown in Chapter 17.20 of the Moorpark Municipal Code.

###### **2. Development Requirements**

Development in the Office designation shall meet the requirements for the C-O designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code with the exception of building height

which shall be 35 feet, maximum and no more than three stories high. Accessory structures (such as garages and patio covers) shall be 15 feet, maximum height. Front yard setback shall be a maximum of twenty (20) feet, an average of ten (10) feet and a minimum of zero (0) for every three hundred (300) feet of street frontage. The average setback shall be determined by totaling the width of the three properties, i.e. the subject property and each adjacent property and then dividing by three. In no case, shall the width of the three properties be less than 300 feet. If the width is less than 300 feet then additional properties shall be used in the calculation to achieve at least 300 feet. The variable front yard setback takes into account the existing buildings with zero (0) to ten (10) feet setbacks while providing some visual relief along this reach of Moorpark Avenue.

### **3. Parking**

Parking shall meet the requirements of Chapter 17.32 of the Moorpark Municipal Code.

### **4. Building Maintenance and Renovation**

Quality maintenance of existing buildings and parcels, combined with progress in meeting design goals for this land use designation are encouraged. To this end, the maintenance guidelines and incentives outlined in section 2.3.1 to 2.3.3 apply to the Office designation.

### **5. Walls**

Walls shall meet the requirements of Chapter 17.24 of the Moorpark Municipal Code. Decorative masonry or masonry walls with a stucco finish should be used to screen service areas, parking, and ground mounted mechanical equipment. Trash containers shall be enclosed by a masonry wall consistent with City standards.



Strong vertical element combined with "chance" opening

### **6. Signage**

Signage shall meet the requirements of Chapter 17.40 of the Moorpark Municipal Code

## **B. Design Guidelines**

### **1. Architectural Character**

Early American Commercial Style

The following design guidelines apply to the Office(C-0) zone as designated in Figure 6, the Specific Plan Zoning Map.

The properties zoned for Office uses are located adjacent to an existing single family residential neighborhood. Many of the structures

on the east side of Moorpark Avenue are single family residences with driveways off of Moorpark Avenue as well as alley access to the rear of the property. Reuse or conversion of property along Moorpark Avenue and the design of the new office buildings along Moorpark Avenue should reflect the same architectural character desired on High Street but targeted to office usage. Due to the larger front setbacks, exterior and interior courtyards can be incorporated. Tower-like elements, turrets, loggias should be used to accent buildings and other architectural features.

## 2. Building Form and Massing

Moorpark Avenue is an entrance to the downtown High Street area and as such should provide a transition from the modern day architecture found on Los Angeles Avenue to the more historic architecture of High Street.

Use of varying stories and building height can provide visual interest and also lessen the impact of one story directly above the ground floor story. There should be a minimum five (5) foot setback for the second



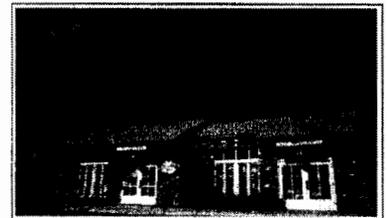
*Smaller roof areas and overhangs break up the building mass*

story from the ground floor wall in order to provide more visual interest and to minimize the towering effect of a single wall two stories high.

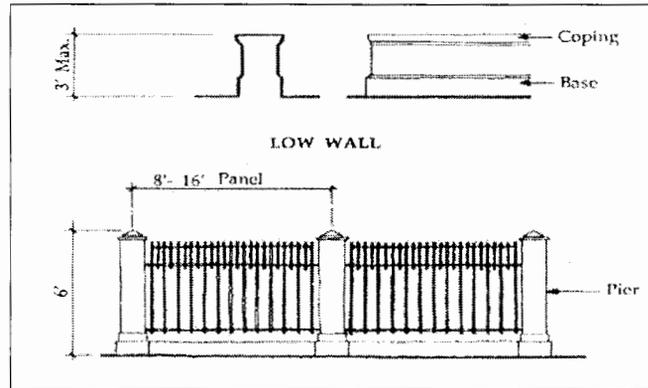
The size and mass of a larger building should be softened to blend with the surrounding neighborhoods. A variety in roof levels and wall planes should be used to reduce the mass and bulk of the structure.

## 3. Site Planning

- a. Building faces for every three properties or 300 feet should front public streets with varying front setbacks from zero (0) to twenty (20) feet with an average of ten (10) feet, whichever is greater.



*French doors as storefront entries*



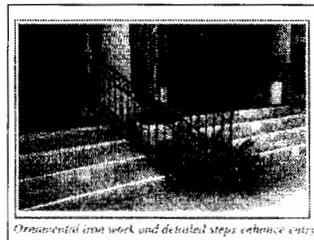
b. Parking areas should be located to the rear of buildings whenever possible with access from the adjacent alley, when available. Reciprocal parking and access shall be required in order to reduce the number of driveways needed along public streets.

c. Parking lots located near public streets shall be screened from view with substantial landscaping, berms, hedges, or low walls.

d. Low walls within and along Moorpark Avenue should be used, where appropriate, to provide architectural and visual variety and to provide a physical barrier for pedestrians directing them to a safe crossing. The walls should be a maximum of three (3) feet high, located in such a manner so as to provide for landscaping from the back of the curb face to the wall in some instances, or adjacent to the back of curb in other instances, and/or combined with seating, trash containers, drinking fountains, and decorative features. The walls should be of durable construction material with the wall design consistent with the adjacent buildings, i.e. use of stucco over block, or brick, or slumpstone block, punctuated with decorative material such as tile, stone or brick.

#### 4. Entries

a. Entrances to individual office units should be easily visible from public areas. Avoid long balconies and corridors for access to units.



Ornamental iron work and detailed steps enhance entry.

b. Stairs, stoops, and porches are recommended to emphasize the entries and create attractive semi-public spaces.



Simple window mold well detailed to wall ornamentation.

c. Stairway location and form should complement building form. Prefabricated metal stairs are discouraged.

### 5. Accessory Buildings

Covered parking, patio areas and accessory buildings should be architecturally compatible with the main building and shall meet the requirements of Chapter 17.24 of the Moorpark Municipal Code.

### 6. Garbage and Recycling Areas

Areas for garbage and recycling shall be provided in convenient locations enclosed by structures to shield from public views. Materials and detailing should be consistent with the overall project and consistent with City standards.

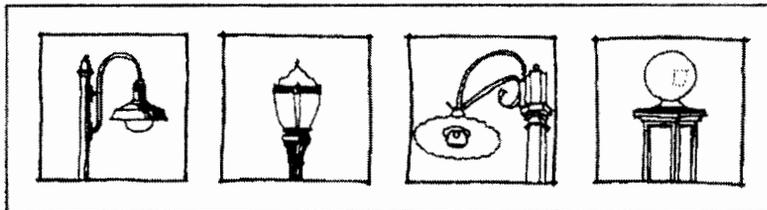
### 7. Lighting

a. Parking lot and walkway lighting should provide appropriate levels of light for security and safety consistent with Section 17.30 of the Moorpark Municipal Code.



b. Building and parking lot lighting should be consistent with the Early American Commercial Style architecture.

c. Light poles should be appropriate for the building, complex and site. Height of light poles shall not exceed the main building height and in all cases not exceed twenty-five feet (25').



Lamp examples

## C. Landscape Guidelines

New planting within this zone should be consistent with the Suggested Plant Palette shown in Table 5 of Section 2.2.1 of this Specific Plan as well as the City's adopted Landscape Guidelines. The following landscape guidelines apply to the Office (C-0) zone.

### 1. Planting

a. Trees and planting should be used to soften the mass of larger buildings, shade parking lots, and accent important areas such as entries plazas, and courtyards.

b. The use of large specimen trees (24" box material, minimum) as specified in the suggested plant palette is encouraged. Shrubs should be a minimum five-gallon, except where standard nursery and installation practices use one gallon.

c. Top dressings should be a minimum 2" layer composted organic material to aid in weed control and conservation.

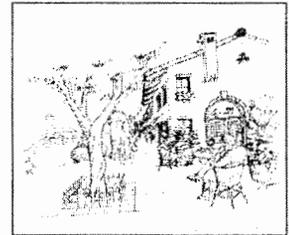
d. Tree well grates should be used in the right-of-way area for the planting of street trees.

## 2.2.5 Old Town Commercial (C-OT)

### A. Site Development Standards

#### 1. Land Use and Permitted Uses

Uses in the Old Town Commercial designation shall meet the requirements for the C-OT designation as shown in Chapter 17.20 of the Moorpark Municipal Code.



#### 2. Development Requirements

Development in the Old Town Commercial designation shall meet the requirements for the C-OT designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code with the exception of building height which shall be 35 feet, maximum. Architectural elements such as towers, chimneys, and parapet walls may have a maximum height of forty (40) feet. Parapets used as architectural accents may exceed the maximum height when approved by the Community Development Director.

#### 3. Parking and Signage

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

#### 4. Building Maintenance and Renovation

Quality maintenance of existing buildings and parcels combined with progress in meeting design goals for this land use designation are encouraged. To this end, the maintenance guidelines and incentives outlined in Section 2.3.1 to 2.3.3 of this Specific Plan apply to the Old Town Commercial designation.

#### 5. Mixed Use Development

A mixed commercial-residential use project is a project in which commercial uses will occupy the entire street level of a building or group of buildings, and residential uses will occupy portions or all of

the upper floors of that same building(s). The intent of allowing for mixed use projects in the Old Town Commercial District is to provide continuous frontage of retail shops and commercial business establishments at the street level, while providing opportunities for downtown residential living. The following requirements shall apply to these mixed use projects:

a. The primary use shall be commercial and the residential use shall be secondary to the commercial use of the property.

b. The street frontage level of the commercial structure shall be utilized for commercial uses and not for parking.

c. The entire ground floor or street level, with the exception of circulation access, shall be used exclusively for retail and other commercial uses and no dwelling shall be permitted to be located in whole or in part on the ground floor or street level.

d. All parking spaces required by the residential use shall be provided on-site to serve the residential units and shall be specifically designated and reserved for the exclusive use of the residents.

e. Where a project consists of more than ten (10) units, the project shall be clustered in two or more buildings to reduce building mass and create architectural interest.

f. Wall planes for buildings shall have design articulation consistent with the design standards set for all buildings in the Old Town Commercial district.

g. Direct access for parking areas and driveways is discouraged along High Street. Access for parking and driveways shall be taken from adjoining alleys or alternative streets when available. If a parking area or driveway cannot be designed to avoid access from High Street the driveway and parking area shall not occupy more than 40% of the lot frontage, leaving the majority of the lot width for commercial store front development.

h. Driveway access to parking shall be taken as close to a side lot line as is feasible, rather than from the middle of the lot frontage.

i. Additions to existing buildings shall be designed to be integrated with the existing building when the Community Development Director has determined that the existing design is

in conformance with the Downtown Specific Plan. The new addition should match the original in terms of scale, architectural details, window and door styles and openings, roofline, materials, color and other aspects of design.

j. Where a large addition to an existing structure is developed, the entire building should be renovated to achieve a single, coordinated appearance.

## B. Design Guidelines

### 1. Architectural Character

High Street was the original "main street" of Moorpark and today is an eclectic mix of architecture including many architectural styles. The eclectic nature of the architecture is part of the charm of the historic street and should be encouraged within the classic 1920's Commercial Style architecture. Some Spanish Mission or Santa Barbara Spanish may also be appropriate on certain lots along High Street although it was not specifically used on High Street. Contemporary interpretation of these styles should be used in the Old Town Commercial zone today. The two primary styles below are encouraged as the architecture of preference in the Old Town Commercial Zone.

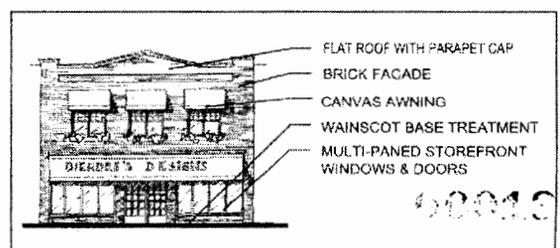
#### a. Spanish Mission Style

This style was not historically used along High Street although it is a common style in the region. It is characterized by the use of arches, patios, porticos, architectural features such as cornices, decorative plaster and cement ornamentation, and wrought iron. Plastered or stucco walls punctuated with colorful, sometime ornate Spanish, Mexican and mosaic tiles are also prevalent in addition to smooth plastered walls. Interior patios or atriums with fountains and gardens are often found along with red clay tile flooring within and in patio areas of the buildings. Often the use of deep opening for windows and doors are used to accentuate the building façade and to provide relief from the sun.



#### b. Early American Commercial Style

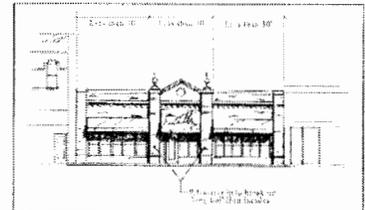
Throughout America, a significant number of commercial structures



were built in the 1920's and 30's which adapted the more ornate styles of classical, Greek Revival, and Chicagoan architecture to a more simplified, plain commercial style. Such architectural treatments were done to emulate these ornate styles in a less expensive way. This architectural solution was especially popular in smaller towns throughout California where property owners were not wealthy enough to construct highly ornate buildings, more typically built Early American Commercial Architecture in larger urban areas. These more modest structures exhibit only some of the characteristics known to the more ornate architectural styles, such as parapets with caps and finials, multi-paned windows, canvas awnings, and decorative base treatments. This architectural style allows for a healthy mix of building details and can be blended with more traditional eastern elements such as brick and mortar buildings or wraps and ornate cornice or frieze details.

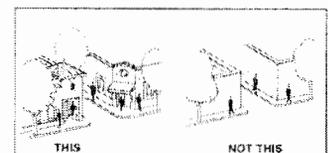
**2. Building Form and Massing**

a. Building form and massing should promote continuity of the street scene. The size of new structures should be compatible with adjacent buildings and neighborhoods.

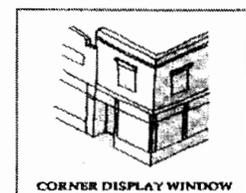
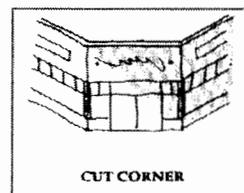
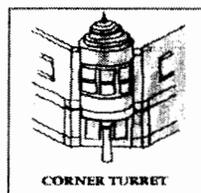


b. To create a less massive building, the building mass should vary in modules of 50 feet or less. Buildings with frontage of longer than 50 feet should have vertical architectural features such as columns or pilasters every 25 to 30 feet.

c. The use of towers and other accent elements on corner buildings and key entries is strongly encouraged.



d. Provide convenient pedestrian circulation and architectural interest. Corner buildings should incorporate features such as angled corner and walk-through arcades, interesting signage and store fronts.



e. Special architectural features such as towers, turrets, and loggias should be used to accent buildings at street corners, at the terminus of a street, alley, or pedestrian way, and at other highly visible locations.

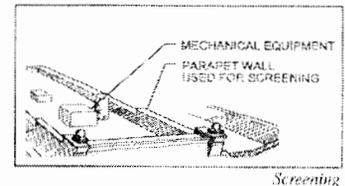
f. Two to three-story buildings should be located around prominent intersections and public plazas.

g. "Four-sided architecture"-exterior façade detailing and architectural treatment on all sides of buildings readily visible to the public should be used when buildings are not constructed to the side property lines.

h. "Corporate architecture" and generic designs are discouraged. Each project should be designed to address the downtown goal to create a pedestrian atmosphere with quality architecture rich in detail.

### 3. Service Areas

a. Service areas including trash and recycling containers, mechanical equipment, and satellite dishes should be located behind buildings screened by landscaping and enclosed by masonry walls that are architecturally compatible with the building design.

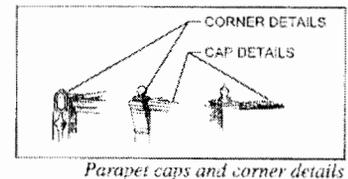


b. Parapet walls, or fully enclosing mechanical equipment should be used to screen public view of roof tops and roof top mounted mechanical equipment. Placement, material, and color of roof screens shall be architecturally compatible with the building design.

c. Loading areas and service bays should be located at the rear of buildings, when possible, screening them from public view.

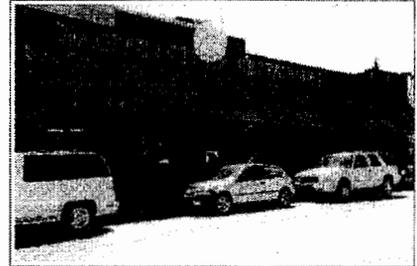
### 4. Roof Forms

Inspired by the architectural styles of the early 1900's, new or renovated roof forms should be compatible with existing roof forms in downtown Moorpark; predominantly flat roofs with parapets and a few pitched, gable roofs. Continuous or false mansard roofs that are not compatible with the style of architecture allowed in the Downtown Specific Plan are discouraged.



a. Parapet wall designs should be used on flat roofs to add architectural variety. It should have detail articulation and features such as corner treatments and continuous banding.

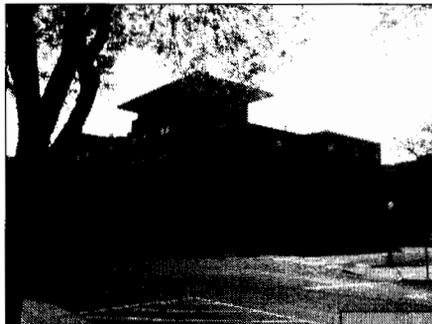
b. Parapet walls, whether simple or ornate, should always include a cap and corner detail to enhance a building's identity.



*Shed roof lean to structure allows for continuous building facade and decorates a simple parapet roof*

c. Parapets should be integrated into the building. If the backside of the parapet is visible, it should be appropriately detailed. When parapet roofs are used on long structures with multiple tenants, the building should be designed with two or more facades and parapet roof forms.

d. Decorative chimney caps or bell tower turrets are encouraged.



e. Varied roof forms within a building such as tower elements, gabled roofs, extended eaves with rafters or corbels, can also be used to add interest and to create an Early American style building.

f. Where gabled or pitched roofs are used, careful integration with the primary building and adjacent buildings should be considered in design. The gable end, or in the case of a multiple pitched roof, the predominate gable end should face High Street. Slopes of pitched roofs should not exceed 3:12 and 6:12.



## 5. Windows and Doors

Entrances to commercial buildings should be prominently located. Windows and doors should be carefully detailed. Quality framing, molding, detailing, and window box treatments should be used as accents where possible.



*Transom Windows*

- a. Recessed windows and doors create interesting shadows and are common of Early American Commercial style architecture. Windows should be recessed from the exterior wall plane a minimum of three (3) inches. Doors should be recessed from the exterior wall plane a minimum of six (6) inches.
- b. Transom windows located above storefront windows can provide horizontal consistency and add interior light throughout the downtown.
- c. Consistency between window styles and door frames should be maintained throughout the structure to unify building facades.
- d. To minimize the expansive nature of glazed windows which can detract from the desired historical character in Old Town, the use of multi-paned windows and mullions is recommended in window and door designs.
- e. Entrances and doors should be carefully located and detailed providing a clear sense of entry. Clearly detailed and marked doorways will relate the building to the street and help orient pedestrians.



*Canopies frame well-detailed doors*



*Awnings can frame an entrance and set scale*

- f. Customized paving materials and accents between the private sidewalk and the building facade are encouraged. Unique patterns and materials will personalize businesses and act as a

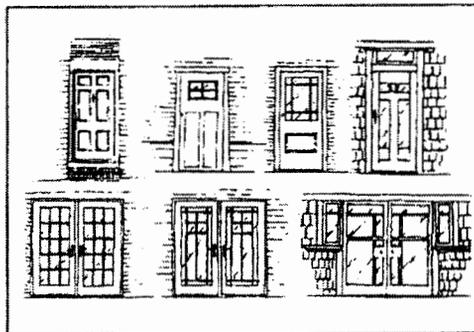
form of signage, helping pedestrians identify specific businesses.

g. Storefront windows which open up to the sidewalk create an inviting atmosphere and are encouraged.



h. 50-80% of the ground floor retail areas should be transparent storefront windows. Second level and third level windows should not exceed 50% of the total exterior wall surface.

i. To be consistent with the desired early 1900's Early American Commercial architecture, windows should be vertically rather than horizontally oriented, unless they are accenting vertically dominated storefront windows.



Vertical, opening windows



Ornamental windows, doors and shutters in a vertical alignment

## 6. Arcades, Porches, and Covered Walkways

a. Arcades, covered walkways and porches add pedestrian scale to building design and to the street. They are encouraged, adding a practical and attractive architectural element and providing winter weather protection and shade during hot summer months.

b. Proportion and human scale are important in the design of arches, columns, and arcades. Arcades should have sufficient wall thickness emphasizing a sense of strength, balance, and traditional masonry proportions.

c. The ratio between the top of the arch and the mass it is supporting should be carefully designed so that sufficient wall surface is present between the key of the arch and the next architectural element above.

d. Columns supporting the arches should be proportionate to the size of the arch. Neither spindly and undersized columns, nor squat, overly massive columns are appropriate.

## 7. Architectural Details

a. Architectural details can be used to enhance a new or existing structure adding color, shadows, and interesting architectural forms. Often the architectural style of the building is depicted through the simple details.

b. Storefront windows should incorporate a base rather than extending the glass to the ground. This protects storefront glass from skateboards, bikes, etc and provides a location for low seat walls, landscaping, or other architectural features. Built-up stucco, brick, or wood base is encouraged.

c. Framing and relieved detailing around windows, pedestrian doors, parapet caps, and building bases are recommended. Window boxes, balconies, and balcony type features or other design details which can enhance two-story structures are encouraged.

d. Porch, balcony and overhang treatments to the building facade provide pedestrian protection from sun and rain.

e. To create a more comfortable space for pedestrians, the use of awnings and canopies are encouraged. Canopies protect people and furniture from inclement weather and reduce the perceived height of the building façade to human scale. Awnings also provide a clearly definable place to introduce color and signage.

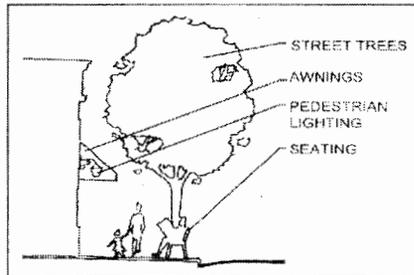


*Deep overhang allows ample room for pedestrians*

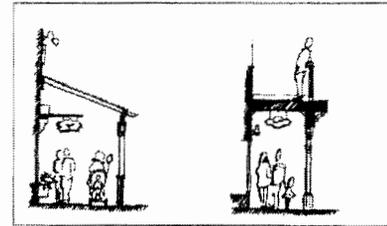


*Wood shed roof evokes western theme and promotes outdoor activity in a shaded environment*

g. Exterior walls, especially at ground level, should include elements to build depth and character to the wall plane. Use of reveal patterns, material changes, balconies, overhangs, building pop-outs, and recessed entries is preferred.



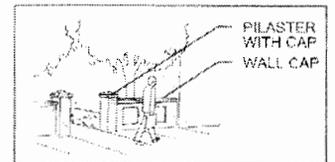
*Pedestrian Street Scene*



*Covered Sidewalk*

h. Tile accents and relief bands are simple ways to add interest and character to a building facade.

i. When possible, wrought iron or similar iron grillwork and ornamental fixtures should be used as building accents, lighting or signage.



*Garden Walls*

## 8. Low Walls

a. Low walls are an important unifying element providing continuity to the street edge and buffering parking and service areas.

b. Walls should have a minimum height of 2.5 feet and maximum 4 feet height. The finish material and design should be compatible with the architectural character of adjacent buildings.

c. Community art display panels may be incorporated into wall design to enhance public pride.

d. For a clean, finished appearance, and to ensure durability and safety in design, low walls should incorporate a wall cap and pilasters anchoring entry points.

e. Defining breaks in low walls should be incorporated to allow for pedestrian circulation.

## 9. Building Materials

Building materials and finishes should be selected to reinforce the guiding architectural image (Spanish Mission or Early American) and should be consistent with the desired architectural character of the individual and immediately adjacent buildings. The following materials

are suggestions for renovation and new construction to the Old Town Commercial zone street facades and exposed structure sides. Backs of buildings should use similar materials; however, less expensive and more utilitarian substitution materials are acceptable provided they are compatible with the overall design. Materials and finishes should be selected for ease of maintenance and durability. The following materials are encouraged:

**a. Roofs** (see Roof Section for graphic examples)

1. Exposed wood structural lumbers such as rafter tails, roof beams, and ornamental corbels
2. Copper accents, gutters, downspouts, and scuppers
3. Concrete or routed wood corbels
4. Dimensional asphalt shingles
5. Standing seam metal roof
6. Fire retardant light weight concrete shingles

**b. Building Walls**

1. Stone and brick are also acceptable materials (float-finished surfaces are preferred)
2. Colored or stained concrete block can be used to simulate brick or adobe
3. Stone or brick wainscoting may be used
4. Ornamental tiles, wood, brick, and glass block can be used as trim or accents around the base of the building.
5. Heavy timber construction should be used in trellises, roof overhangs, balconies and other architectural elements.

**c. Low Walls and Fences**

1. Masonry wall with cap detail
2. Brick or stone wall
3. Wrought iron or similar iron fence
4. Brick or stone masonry wall with wrought iron or similar material widow's walk or similar riser

**DO NOT USE THE FOLLOWING MATERIALS:**

**Roofs that use:**

- Flat or corrugated metal, aluminum or fiberglass roofing material
- Brightly colored glazed roofing tiles
- Flat asphalt or wood shingles
- Crushed rock
- Spray-finished stucco unless it is not dominant on the building

**Building Walls that are:**

- Reflective or dark glass

- Poor quality synthetic materials resembling brick or masonry
- Corrugated fiberglass
- Coarsely finished or unfinished plywood
- Metal siding
- Unfinished concrete block and split-face block
- Shingles or untreated redwood shingles
- T-111 Siding
- Slump stone block

**Low Walls and Fences that are:**

- Rolled wire, fencing, i.e. chicken wire, pig fencing, etc.
- Chain-link (especially uncoated, uncolored)
- Unfinished materials such as concrete block or plywood
- Vinyl or sheet metal siding

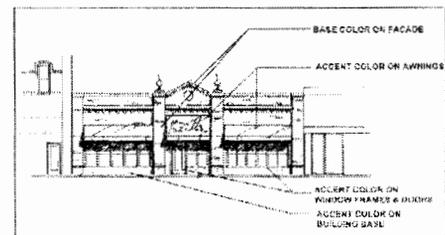
**10. Color**

Color is an important aspect of the overall building design and street scene creating variation while maintaining an overall consistency in the downtown area. Maintaining a balanced color palette using the correct proportions between lighter "base colors" and brighter "accent colors" on individual buildings is essential to reinforce character and compatibility between structures.

**a. Base Color**

Buildings with large expanses of blank walls should have lighter, subtle base color. The base color on smaller buildings or those with more elaborate details can use slightly stronger tones. Good base color examples include

1. Light gray
2. Cream/ecru
3. White (non-glaring)
4. Pale Flesh
5. Pale Yellow
6. Light Beige
7. Pastel Tones



**b. Accent Color**

Brighter accent colors should be carefully and minimally used to accent windows, doors, signs and awnings. Special materials such as glazed tile can also be used to introduce accent colors on building facades Good accent color examples include:

1. Forest Green
2. Deep Blue Green
3. Dark Browns

4. Rich Magenta
5. Brick Red
6. Deep Blue

## 11. Lighting

Lighting shall be in compliance with Chapter 17.30 of the Moorpark Municipal Code and in compliance with the guidelines indicated below except that low pressure sodium lighting is not required:

a. Lighting can be used to enhance architectural details, create shadows, provide security to a building and indicate whether a business is open or closed. Lights should be subtle, directional, and not overpowering or glaring lighting sources should be integrated into the architectural design. Examples of well-integrated lights include soffit lighting and accent light fixtures, which can be a design element unto themselves.



b. Accent lighting should be used to accent landscaping (up-lights or focused directional lights) or building details such as tower elements and cupolas.

c. Light fixtures that illuminate large areas (over 200 copy area) should be avoided.

d. Lighting used to illuminate store signs should be subtle and non-glaring. Bulbs should not be exposed and should focus light directly onto the sign or building.

e. Pedestrian level lights add interesting architectural detail as well as provide security and lighting for pedestrians at night. These lights should be incorporated into building and parking lot designs and be well detailed.



f. Lights used nearby or adjacent to High Street should not conflict with the Early American lampposts that are currently located along the street.

g. Recommended lamp types for lighting signs and buildings should be warmer incandescent halogen, metal halide, or "daylight" fluorescent bulbs. Cold (blue-tinted) lamp types are not appropriate. Precise intensity and types of light should be recommended by a qualified lighting design professional. Metal-

halite bulbs may only be used as building, accents or to illuminate key building features.

### **C. Landscape Guidelines**

New planting within the Old Town Commercial zone should be consistent with the suggested Plant Palette shown in Table 5 of Section 2.2.1 of the Specific Plan.

#### **1. Planting**

a. Landscaping should be used to soften the impact of large blank building walls, as well as parking lots. Shrubs and planters can help screen views to parking lots from the street. Trees can breakup large expanses of pavement while providing shade for cars and pedestrians.

b. Colorful annual or seasonal accent planting (via pots, planter boxes and hanging pots) should be used to accent entries and add color and interest to buildings, or special locations.

c. Decorative vines should be considered for use along fences, garden walls, property boundaries and perimeter walls, and on blank building elevations.

d. Free standing earth berms and or earth berms near structures are not permitted unless it is proven that such landscaping techniques will not detract from the overall Early American, natural planting theme.

e. Evergreen trees and shrubs should be used whenever a landscape screen or buffer is required.

### **2.2.6 Neighborhood Commercial(C-1)**

#### **A Site Development Standards**

##### **1. Land Use and Permitted Uses**

Uses in the Neighborhood Commercial designation shall meet the requirements for the C-1 designation as shown in Chapter 17.20 of the Moorpark Municipal Code.

##### **2. Development Requirements**

Development in the Neighborhood Commercial designation shall meet the requirements for the C-1 designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code except that the front yard setback shall be a maximum of twenty (20) feet, an average

of ten (10) feet and a minimum of zero (0) for every three hundred (300) feet of street frontage. For example, on Moorpark Avenue starting from the corner of Poindexter Avenue three hundred (300) feet south there are three one hundred foot wide properties along this reach. The front yard setback could be met by having all buildings setback ten (10) feet. Alternatively, these same three properties could meet the front setback requirement by having one at zero, one at twenty (20) feet, and one at ten (10) feet. The purposed of this variable front yard setback to allow for some of the existing buildings to remain while providing some visual relief along this reach of Moorpark Avenue.

### **3. Fences and Walls.**

Fences and walls shall meet the requirements of Chapter 17.24 of the Moorpark Municipal Code and as modified below:

a. Garden walls and low fences are an important unifying element providing continuity to the street edge and buffering parking and service areas.

b. The finish materials and design should be compatible with the architectural character of adjacent buildings.



*Wood fence with raised post and lattice gate*

c. For a clean, finished look, durability, and safety, walls should incorporate a wall cap and pilasters at entry points.

### **4. Parking and Signage**

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

### **5. Building Maintenance and Renovation**

Quality maintenance of existing buildings and parcels, combined with progress in meeting design goals for this land use designation are encouraged. To this end, the maintenance guidelines and incentives outlined in sections 2.3.1 to 2.3.3 apply to the Neighborhood Commercial designation.

## **B. Design Guidelines**

### **1. General Character**

This zone is located on the west and east side of Moorpark Avenue between First and Third Streets, consisting primarily of early 1900's residential bungalows. This zone acts as a transition and entry to the

Early American architecture of the Old Town Commercial zone to the north. Because this zone abuts State Highway 23 (Moorpark Avenue), it is essential that new and refurbished uses provide a transition between the residential uses to the west and east, and the well-traveled road. These guidelines are intended to reinforce a pedestrian-friendly atmosphere, encouraging residents to walk from the surrounding neighborhoods for shopping.

Separated by the railroad tracks, but in proximity to the High Street area, this zone serves as a key corridor to downtown and the architectural character should be compatible with the Old Town Commercial zone. Thus, for a description of the desired architectural character in the Neighborhood Commercial zone, refer to the Old Town Commercial zone (Section 2.2.5). The standards and guidelines described in Section 2.2.5 will complement the existing bungalow architecture across Moorpark Avenue, as well as the other surrounding architecture, there by creating a cohesive neighborhood.

## **2. Building Form and Massing**

a. Building form is an important design element for the Neighborhood Commercial zone, specifically to ensure compatibility with the adjacent smaller, single family homes.

b. The size and mass of a larger building should be softened to blend with the surrounding neighborhoods. A variety in roof levels and wall planes should be used to reduce the mass and bulk of the structure.

c. When possible, mass the height of new or replacement structures away from residential neighborhoods for privacy protection.

d. Consistency of the form and massing of buildings will help establish continuity along Moorpark Avenue. The size of new structures should be compatible with adjacent buildings.

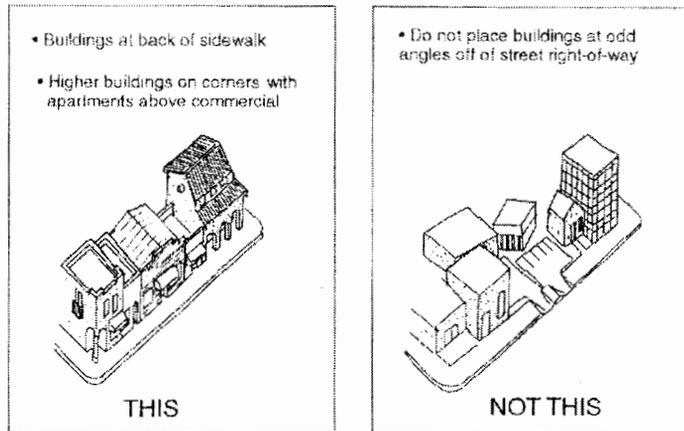
e. Building facades should parallel Moorpark Avenue rather than set at an angle.

f. When possible, buildings should front on to the sidewalk with zero setback to the street.



*Awning brings large building wall to pedestrian scale*

g. Two and three-story structures should be designed to avoid windows and balconies overhanging into or adjacent to the nearby residential area.



*Place buildings to the back of sidewalk*

## C. Landscape Guidelines

New planting within the Neighborhood Commercial zone should be consistent with the Suggested Plant Palette located in Table 5 of Section 2.2.1 of this Specific Plan.

### 1. Planting

a. Landscaping should be used to soften the impact of large blank building walls, as well as parking lots. Shrubs and planters can help screen views to parking lots from the street. Trees can break up large expanses of pavement while providing shade for cars and pedestrians.

b. Both deciduous and evergreen trees should be used to provide a variety of texture, color and form.

c. Colorful annual or seasonal accent planting (via pots, planter boxes and hanging pots) should be used to accent entries and add color and interest to buildings, or special locations.

d. Decorative vines should be considered for use along fences, garden walls, property boundaries and perimeter walls, and on blank building elevations.

e. Freestanding earth berms and/or earth berms near structures are not permitted unless it is proven that such landscaping techniques will not detract from the overall Early American, natural planting theme.

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f. Vines, espaliers and potted plants are excellent ways to texture walls, columns and posts, and shall be used wherever possible.

g. Evergreen trees and shrubs should be used whenever a landscape screen or buffer is required.

h. Nicely detailed gates and iron work can reflect the character of a business or project. Designs should incorporate artistic details in the landscape.

i. Relatively short-lived and high maintenance plants shall be limited to areas receiving regular, skilled maintenance.

## **2.2.7 Commercial Planned Development (C-2 CPD)**

### **A. Site Development Standards**

#### **1. Land Use and Permitted Uses**

Uses in the Commercial Planned Development designation shall meet the requirements for the C-2 CPD designation as shown in Chapter 17.20 of the Moorpark Municipal Code

#### **2. Development Requirements**

Development in the Commercial Planned Development designation shall meet the requirements for the C-2 CPD designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code except that the front yard setbacks shall be established by permit on a case-by-case basis depending upon location and adjacent and surrounding land uses.

#### **3. Parking and Signage**

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

#### **4. Fences and Walls**

Fences and walls shall meet the requirements of Chapter 17.24 of the Moorpark Municipal Code.

### **B. Design Guidelines**

#### **1. General Character**

To support the general character of the different residential and commercial building forms and architecture in the Commercial Planned

Development designation building forms and massing which relate to the Early American style architecture should be encouraged.

For the CPD design guidelines, refer to the Institutional design guidelines in Section 2.2.8 of this Specific Plan.

### **C. Landscape Guidelines**

New planting within the CPD designation should be consistent with the Suggested Plant Palette located in Table 5 of Section 2.2.1 of this Specific Plan.

For landscape guidelines in the CPD designation, refer to the Institutional landscape guidelines Section 2.2.8 of this Specific Plan.

## **2.2.8 Institutional (I)**

### **A. Site Development Standards**

#### **1. Land Use and Permitted Uses**

Uses in the Institutional designation shall meet the requirements for the I designation as shown in Chapter 17.20 of the Moorpark Municipal Code

#### **2. Development Requirements**

Development in the Institutional designation shall meet the requirements for the I designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code

#### **3. Parking and Signage**

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

#### **4 Fences and Walls**

Fences and walls shall comply with Section 17.24.050 of the Moorpark Municipal Code.

#### **5. Signage**

Signage shall comply with Chapter 17.40 of the Moorpark Municipal Code.

#### **6. Building Maintenance and Renovation**

The public facilities in this designation would continue to be maintained by the responsible public agency. Future expansions should be consistent with the design guidelines established within this section.

## B. Design Guidelines

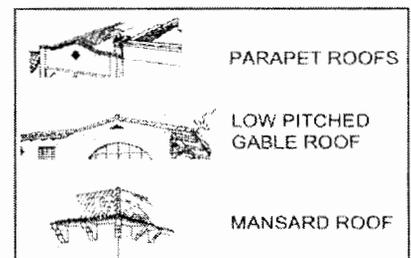
### 1. Architectural Character-

Property designated Institutional is across the street from the Early American Commercial architecture of the property designated Old Town Commercial. The existing institutional structures have a California-Spanish influence; however, the architecture is of no particular significance and should not be used as an architectural example for additional institutional buildings. The Early American Commercial architecture that is employed in the adjacent C-OT designation should be utilized for the design of future civic buildings and the remodeling the existing buildings.

For a detailed description of the Early American Commercial style refer to Sections 2.2.4 Office and 2.2.5 Old Town Commercial.

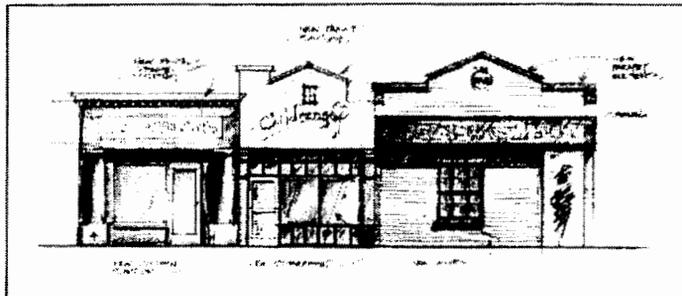
### 2. Roof Forms

One of the most important factors in determining a building's overall character is the roof design. This includes the shape, form, slope, material, texture and color of roofs. To ensure consistent architectural quality roof masses should be proportionate with the design and scale of the building.



*Varied roof forms*

- a. Varied roof forms within a building such as tower elements, gabled roofs, and extended eaves, with rafters or corbels can also be used to add interest.



- b. Flat roofs with articulated parapets are encouraged.
- c. Continuous mansard roofs are discouraged unless detailed mansard roof cover treatments are incorporated for visual interest.

d. Deep roof overhangs are encouraged, especially when used in balconies, colonnades, canopies, verandas or where they are specifically used to enhance passive solar design.

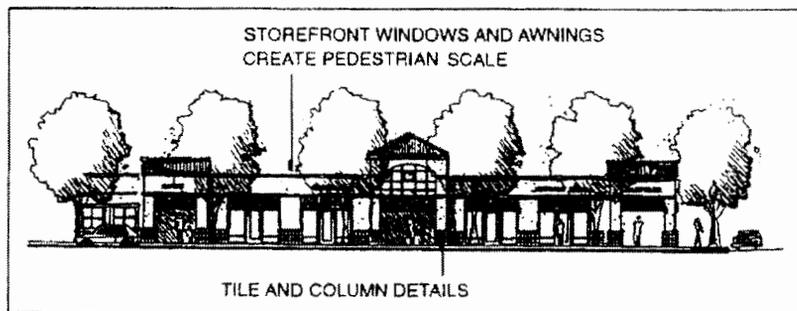
### 3. Windows and Doors

a. Entrances to institutional buildings should be prominently located. Windows and doors should be carefully detailed. Quality framing, large or deep moldings, detailing, and window box treatment should be used, where possible, as accents.

b. Windows should be recessed from the exterior wall plane a minimum of 6 inches to provide greater visual interest.

c. To unify the building façade, windows and door frames should be consistent throughout the structure.

d. The use of multi-paned windows and mullions are recommended in window and door designs to minimize the expanses of glazing which detract from the desired historical character.



e. To help orient pedestrians and relate the building to the street, buildings and doors should be carefully located and detailed to provide a clear sense of entry.

f. Windows should be vertically rather than horizontally oriented. Specially designed horizontal accents are permitted when design reinforces symmetrical facade composition.

### 4. Balconies

a. Balconies and covered walkways add pedestrian scale to the building design and to the street are encouraged.

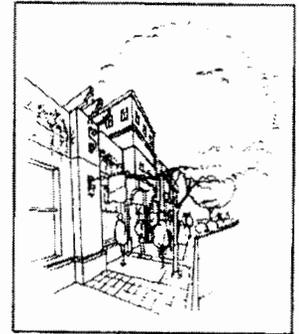
b. Balconies should have sufficient post detailing and posts should emphasize a sense of strength, balance, and traditional base proportions.

c. The ratio between the top of the post, the base and the canopy it is supporting should be carefully designed so that sufficient wall surface is present to the next architectural element above.

d. Spindly and undersized posts, and squat, overly massive posts are not appropriate.

### 5. Architectural Details

a. Architectural details should be used to enhance a new or existing structure adding color, shadows, and interesting architectural forms.

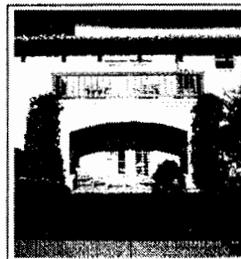


Vertical elements and building detailing breaks monotony

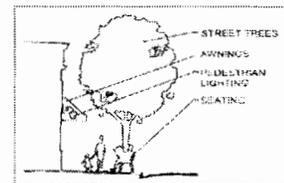
b. Framing and relieved detailing around windows, doors, parapet caps, and building bases are recommended. Use of window boxes, balconies, and false balcony features help enhance two-story structures.

c. To create a more comfortable space for pedestrians, the use of awnings and canopies is encouraged.

d. Tile accents and brick or detailed wood relief bands are simple ways to add interest and character to a building facade.



Columns and archways cast deep shadows



Pedestrian scale street scene

### 6. Low Walls

a. Low walls are an important unifying element providing continuity to the street edge and buffering parking and service areas.

b. The finish material and design should be compatible with the architectural character of adjacent buildings.

c. Community art display panels may be incorporated into wall design to enhance community feeling.

d. For a clean, finished look, durability, and safety, walls should incorporate a wall cap and pilasters at entry points.

e. Breaks in walls should be incorporated to allow for pedestrian circulation.

## **7. Building Materials**

Building materials and finishes should be selected to reinforce the overall design intent of the project and to be consistent with the desired architectural character of the building. The following are suggestions for the street facades and exposed sides. Backs of buildings should use similar materials, however, may be less expensive and more utilitarian.

Materials and finished should be selected for ease of maintenance and durability. The following materials are encouraged:

### **a. Roofs**

1. Exposed wood structural members such as rafter tails, roof beams, and corbels
2. Copper accents, gutters, downspouts, and scuppers
3. Concrete or stone or wood corbels
4. Unglazed concrete or clay roofing tiles (slate-like/flat)

### **b. Building Walls**

1. Wood siding (horizontal or vertical)
2. Stucco and brick/stone
3. Stone or brick wainscoting
4. Ornamental tiles, wood, bricks, and glass block can be used as trim or accents around the base of the building.

### **c. Low Walls and Fences**

1. Finished solid wood fence
2. Stuccoed brick/stone wall with cap detail
3. Wrought iron or similar material fence
4. Masonry wall with wrought iron on top

## **DO NOT USE THE FOLLOWING MATERIALS**

### **Roofs which use:**

- Brightly colored glazed roofing tiles
- Wood shingles and shakes
- Metal roofing

### **Building Walls that are:**

- Solid brick
- Wood or simulated shingles or shakes
- Reflective or dark glass

- Synthetic materials made of poor quality and resemblance to brick masonry
- Corrugated fiberglass
- Coarsely finished or unfinished plywood
- Metal siding
- Unfinished concrete block and split-face block
- T-111 Siding
- Slump stone block

**Low Walls and Fences that are:**

- Rolled wire, fencing, i.e. chicken wire, pig fencing, etc
- Chain link
- Unfinished materials such as concrete block or plywood
- Vinyl or sheet metal siding

**8. Color**

Color is an important aspect of the overall building design creating variation while maintaining an overall consistency within the Civic Center area. It is very important to keep a balanced color palette using the correct proportions between the lighter "base colors" and the brighter "accent colors" on each building.

**a. Base Color**

Buildings with large expanses of blank walls should have lighter, subtle base color. The base color on smaller buildings or those with more elaborate details can use slightly stronger tones. Base color examples:

1. Light gray
2. Cream
3. White
4. Pale Flesh
5. Pale Yellow
6. Light Beige

**b. Accent Color**

Brighter accent color should be used minimally to accent windows, doors, and awnings. Special materials such as glazed tile can also be used to introduce accent colors on building facades. Accent color examples:

1. Forest Green
2. Deep Blue Green
3. Brick Red
4. Deep Blue
5. Dark Browns

## 9. Lighting

Lighting can be used to enhance architectural details creating shadows as well as provide security to a building. Low pressure sodium lighting shall not be required.

a. Lights should be subtle, directional, and not over powering or glaring. Lighting sources should be integrated into the architectural design. Examples of well-integrated lights include soffit lighting and accent light fixtures which are a design element unto themselves.



*Site lighting strengthens image*

b. Accent lighting should be used to accent landscaping or building details such as tower elements and ornamental windows. It should be low key to reduce sky glow and or glare.

c. Light fixtures that illuminate large areas should be avoided. Lighting used to illuminate store signs should be subtle and non-glaring. Bulbs should not be exposed and should focus light directly on to the sign or building.

d. Pedestrian lights add interesting architectural detail as well as provide security and lighting for pedestrians at night. These lights should be incorporated into the building and parking lot designs and be well detailed.

e. Recommended lamp types for lighting signs and buildings should be warmer incandescent halogen, metal halide, or "daylight" fluorescent bulbs. Cold (blue-tinted) lamp types are not appropriate. Precise intensity and types of light should be recommended by a qualified design professional.

## C. Landscape Guidelines

New planting within this zone should be consistent with the suggested plant palette located in Table 5 Section 2.2.1 of this Specific Plan.

In addition to the standards in the Single-Family Residential section of the Specific Plan and requirements of the Moorpark Zoning Code, the following landscape guidelines shall apply to the Institutional zone.

## **1. Planting**

a. Trees and planting should be used to soften the mass of larger buildings, shade parking lots, and accent important areas such as entries, plazas, and courtyards.

b. The site area devoted to landscaping should be greater than 10% of the overall lot area.

c. The use of large specimen trees (24" box material, minimum) as specified in the suggested plant palette is encouraged. Shrubs shall be a minimum five-gallon, except where standard nursery and installation practices use one gallon.

d. Top dressings should be a minimum 2" layer composted organic material to aid in weed control and conservation.

## **2.2.9 Industrial Park/Light Industrial (M-1)**

### **A. Site Development Standards**

#### **1. Land Use**

Uses in the Industrial Park/Light Industrial designation shall meet the requirements for the I designation as shown in Chapter 17.20 of the Moorpark Municipal Code.

#### **2. Development Requirements**

Development in the Industrial Park/Light Industrial designation shall meet the requirements for the M-1 designation as shown in Chapter 17.24 and Chapter 17.36 of the Moorpark Municipal Code

#### **3. Parking and Signage**

Parking and signage shall meet the requirements of Chapter 17.32 and Chapter 17.40, respectively, of the Moorpark Municipal Code.

#### **4 Fences and Walls**

Fences and walls shall comply with Section 17.24.050 of the Moorpark Municipal Code.

#### **5. Building Maintenance and Renovation**

Quality maintenance of existing buildings and parcels, combined with progress in meeting design goals for this land use designation are encouraged. To this end, the maintenance guidelines and incentives as well as the building restoration

guidelines outlined in sections 2.3.1 to 2.3.3 apply to the Industrial Park designation

## **B. Design Guidelines**

The Industrial Park zones are located along the railroad tracks adjacent to the Early American Commercial style of the Old Town Commercial properties. Because of this proximity, the architectural character should be consistent with the Early American Commercial style of High Street.

### **General Architectural Character**

#### **Early American Commercial Style**

##### **1. Roof Forms**

a. Varied roof forms accenting a building such as tower elements, dormers, cupolas, gabled roofs, clerestories, extended eaves with rafters can be used to add interest to large agrarian structures.



*Agrarian Architecture*

b. Weather vanes are indications of farmland structures and provide vertical landmarks to downtown.



*Good example of agrarian building form*

c. Single pitch, basic roof structures are also appropriate to the agrarian style.

##### **2. Windows and Doors**

a. Consistency between windows and door frames should be maintained throughout the structure to unify the building.

b. The use of either very large repeated, or very small multi-paned windows and mullions are recommended in window and door designs to minimize the expanses of glazing which detract from the desired agrarian character.



*Repeated window patterns reinforce character*

c. To create a more comfortable space for pedestrians, the use of awnings and canopies are encouraged. Canopies protect people and furniture from inclement weather while bringing the building façade to human scale. Awnings also provide a place to introduce color and signage.

### 3. Low Walls

a. Low walls are an important unifying element providing continuity to the street edge and buffering parking and service areas.

b. Walls should have a minimum height of 2.5 feet and maximum 4 feet. The finish material and design should be compatible with the architectural character of adjacent buildings.

c. For a clean, finished look, durability, and safety, walls should incorporate the wall cap and pilasters at entry points.

d. Breaks in walls should be incorporated to allow for pedestrian circulation.

### 4. Building Materials

Building materials and finishes should be selected to reinforce the overall design intent and to be consistent with the desired architectural character of the building. Below are suggestions for the street facades and exposed sides of buildings. Backs of buildings should use



*Vertical board and baton siding is appropriate*

similar materials, however, maybe less expensive and more utilitarian. Buildings in this zone will be primarily utilitarian in function, thus can use less expensive materials, provided the building design and material selection meet the intent of these guidelines.

a. Materials and finishes should be selected for ease of maintenance and durability. The following materials are encouraged:

b. Roofs (see Roof Section for graphic examples)

1. Dimensional asphalt shingles

2. Standing seam metal roof
3. Light Weight Concrete shingled roofs
4. Aluminum, galvanized or corrugated tin accents, gutters, downspouts, and scuppers

c. Building Walls

1. Horizontal lap siding, board and batten siding, and barn siding are the most appropriate material to be used on a main surface of the building.
2. Metal siding
3. Stucco, adobe, and brick are also acceptable materials
4. Colored concrete block used to simulate brick
5. Stone or brick wainscoting maybe used on buildings
6. Heavy timber construction used in trellises, roof overhangs, balconies, and other architectural elements

d. Low Walls and Fences

1. Finished solid wood fence
2. Masonry wall with cap detail
3. Brick wall
4. Wrought iron or similar material fence
5. Brick or stone masonry wall with wrought iron accent

**DO NOT USE THE FOLLOWING MATERIALS:**

**Roofs that use:**

- Brightly colored glazed roofing tiles
- Slate or concrete tile

**Building Walls that are:**

- Reflective or dark glass
- Synthetic materials made of poor quality and resemblance to brick or masonry
- Corrugated fiberglass
- Coarsely finished or unfinished plywood
- Unfinished concrete block and split-face block
- Shingles
- T-111 Siding
- Slump stone block

**Low Walls and Fences**

- Rolled wire, fencing, i.e. chicken wire, pig fencing, etc.
- Chain-link
- Unfinished materials such as concrete block or plywood
- Vinyl or sheet metal siding

## 5. Color

Color is an important aspect of the overall building design and street scene creating variation while maintaining an overall consistency with the surrounding neighborhood. It is very important to keep a balanced color palette using the correct proportions between the lighter "base colors" and the brighter "accent colors" on each building.

### a. Base Color

Buildings with large expanses of blank walls should have lighter, subtle base color. The base color on smaller buildings or those with more elaborate details can use slightly stronger tones. Whenever possible, color should include natural, earth tones or subtle, gray blue colors.

### b. Accent Color

Brighter accent color should be used minimally to accent windows, doors, and awnings.

## 6. Lighting

Lighting can be used to enhance architectural details creating shadows as well as provide security to a building and indicate whether a business is open. Lights should be subtle, directional, and not overpowering or glaring. Lighting sources should be integrated into the architectural design. Examples of well integrated lights include soffit lighting and accent light fixtures which are a design element unto themselves. Low pressure sodium lighting shall not be required.



*Wall mounted and free-standing lighting should complement the building*

a. Accent lighting should be used to accent landscaping or building details such as tower elements and cupolas.

b. Light fixtures that illuminate large areas should be avoided. Lighting used to illuminate store signs should be subtle and non-glaring. Bulbs should not be exposed and should focus light directly onto the sign or building.

c. Pedestrian lights add interesting architectural detail as well as provide security and lighting for pedestrians at night. These

lights should be incorporated into the building and parking lot designs and be well detailed.

d. Recommended lamp types for lighting signs and buildings should be warmer incandescent halogen, metal halide, or "daylight" fluorescent bulbs Cold (blue-tinted) lamp types are not appropriate. Precise intensity and types of light should be recommended by a qualified design professional.

### C. Landscape Guidelines

New planting within the Industrial Park zone should be consistent with the Suggested Plant Palette located in Table 5 of Section 2.2.1 of this Specific Plan.

1. Landscaping should be used to soften the impact of large blank building walls, as well as parking lots.

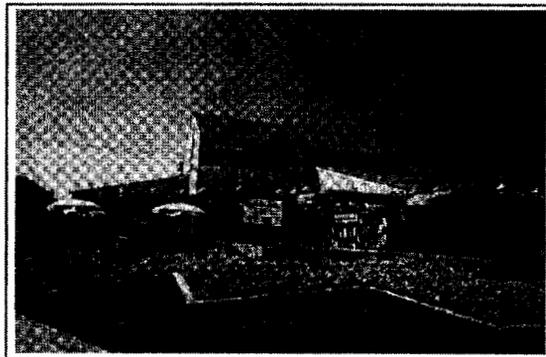
2. Shrubs and planters can help screen the views of the parking lot from the street.

3. Trees can break up the expanses of pavement while providing shade for cars and pedestrians.

4. Colorful accent planting should be used to accent entries and add color and interest to buildings.



*Landscaping can soften parking lots*



*Berming with edge treatments can be an appropriate image*

## **2.3 Private Property Maintenance, Expansion, and Renovation**

### **2.3.1 Private Property Maintenance Guidelines**

All buildings, public sidewalks, and spaces need to be well maintained to present a clean, well-kept appearance in the downtown. Keeping the area free from trash, debris, removing graffiti, repairing cracked sidewalks, and general cleaning of building facades goes a long way to beautify downtown Moorpark.

Property owners of buildings which do not currently meet design guideline criteria should be encouraged to beautify by making simple changes such as repainting, adding new signage and lighting, installing awnings, and removal of unsafe and unsightly building features. To that end, the City has provided a series of photosimulations prepared by an architect who depicts examples of how existing building facades can be improved to increase the quality of the architecture and make the buildings and the area a more desirable place to visit. These photosimulations are shown as an Appendix to the Specific Plan as Commercial Photosimulations. This type of work is recommended as a first tier facade improvement program.

Sections 2.3.1 and 2.3.3 contain development standards and/or guidelines related to site up keep, land use and renovation. These standards and guidelines are intended to supplement the City's existing Municipal Code Title 8, Health and Safety, Chapter 17.08.48 Property Maintenance. However, listed below are some voluntary building and site maintenance measures encouraged for all districts.

- a) Regularly clean and maintain painted and stained surfaces.
- b) Treat metal windows and doors for rust protection or finish in a permanent, opaque color.
- c) Business owners should sweep up trash and debris daily around their buildings.
- d) Storefront repairs such as old cracked window mullions, cracks in stucco, chipped paint, broken windows, damaged signs, etc should be repaired.
- e) Owners of vacant lots should cut weeds and eliminate trash on a regular basis.
- f) Vacant lots should be screened at the street frontage with low walls and landscaping.
- g) Immediate removal of graffiti.

### **2.3.2 Legal Non-Conforming Uses, Expansions, and Renovations**

Chapter 17.52 of the City's Zoning Ordinance (Non-conforming Uses)

allow for the continued operation of uses that current do not conform to the established zone or specific plan. With the approval of an Administrative Permit, the Community Development Director could grant moderate expansions of non-conforming buildings and uses as long as the supplemental findings for non-conforming uses are met.

Moderate expansions are defined as floor area or use area increases of less than fifty percent (50%) of the total existing floor/use area. Land use intensification is defined as additional activity or services offered by a business which increase the degree of non-conformity from the zone in which the use is located.

When the Director can make all of the following findings, in addition to any findings required by the Zoning Ordinance, moderate expansions of non-conforming buildings and uses can occur:

- A. The property and its associated improvements have historically been maintained in a clean and well-kept manner, and/or the nature of the proposed expansion will result in related site and building improvements which will improve the overall appearance and compatibility of the use with adjacent and surrounding land uses; and
- B. The proposed expansion incorporates design measures such as façade improvements, shielding of future and existing exterior lighting, and conforming signs, or has proposed operational measures such as hours of operation, limitations on outdoor use areas adjacent to sensitive land uses; and
- C. The location, orientation, height, and mass of the expansion will not significantly affect privacy for nearby residences or inhibit business operations of surrounding commercial uses; and
- D. The location, orientation, height, and mass of expansion areas will conform to the design guidelines established for the land use district in which the use is located; and
- E. The expansion of the building or use is in conformance with the goals and policies of the Downtown Specific Plan.

The Community Development Director may add conditions to the permit to assure compliance with the above noted findings.

### 2.3.3 Lot Consolidation and Incentives

The maximum density in the High to Very High Density Residential areas can only be achieved when lot consolidation occurs. On the Specific Plan Zoning Map, Figure 6, those areas are zoned RPD 7 – 14 dwelling units per acre. Lot consolidation allows for greater flexibility in site design, potential for reduction in the number of driveways serving the consolidated property and opportunities to more quickly improve a neighborhood.

Due to the relatively small size of existing lots in the High and Very High Density Residential area and the narrow lot width, a minimum of 2 lots would need to be consolidated in order to take advantage of the incentive program. A two lot consolidation would increase the number of units allowed by fifty percent, i.e. from two dwellings to three. The greater the number of lots that are consolidated allows for more flexibility in site design. For example, consolidation of two 45 by 135 foot lots into one lot 90 feet wide by 135 feet deep would allow enough land area to provide three dwellings each with a two car garage, minimum 15 foot rear yard and two parking spaces in front of the garage. The minimum home size would be at least 1,400 square feet in a two story design. Each development when lots are consolidated must still meet the development requirements of the Specific Plan as well as the requirements of the Zoning Ordinance. The design of the homes must still conform to the character of the neighborhood in which the property is located. Single family detached homes are the product type that is allowed. The potential resulting number of units per lot, in relation to lot size, is illustrated on Table 6 below.

**Table 6**

Minimum Lot Size (in sq. ft.)	No of <u>Units</u> Lots Allowed Under Current Zoning	No of <u>Units</u> Lots Allowed Under Incentive Program	Density
6,000	1	1	7.26
12,000	2	3	10.89
18,000	3	5	12.1
24,000	4	7	12.7
30,000	5	9	13.07

Increases in density up to the maximum dwelling units allowable may be granted through the approval of a residential planned development permit in accordance with the Zoning Ordinance. In approving a density higher than the low end of the range the approving authority shall make all of the following findings:

1. The project is consistent with the City's General Plan and Specific Plan goals and policies; and
2. The project is consistent with the City's Zoning Ordinance and the development requirements and design standards of the Downtown Specific Plan; and
3. The project is compatible with existing and planned surrounding land use and development; and
4. The project is superior to a lower density design.

## EXHIBIT 2

### 3.0 Circulation, Overall Site Development and Beautification

#### 3.1 Existing Conditions

The major street circulation routes in the plan area are High Street, Spring Road, Los Angeles Avenue, and Moorpark Avenue. Large trucks have been restricted from High Street and must use Los Angeles Avenue and Moorpark Avenue (State Highway 118 and Highway 23) although vehicular traffic is quite heavy through the High Street corridor. Automobile traffic is expected to decrease once Spring Road is open from Charles Street to Walnut Canyon Road.

Sidewalks adjacent to commercial uses on the north side of High Street are 15 feet wide; a good width for a pedestrian-oriented downtown. Sidewalks on Spring Road and Moorpark Avenue, exist but are 4.5 to 5 feet in width in many areas and directly adjacent to the curb in many areas. People living in the nearby residential areas utilize these sidewalks to access the commercial uses on High Street and Moorpark Avenue.

East/west connections for pedestrians that run parallel to Moorpark Avenue are the internal streets in the residential sections of the plan area. Landscaping along High Street and Charles Street is well defined and mature, while along Moorpark Avenue very little landscaping exists and is frequently interrupted by the diversity of the land uses, noncontiguous building setbacks, and clutter from utility lines and signage poles.

#### 3.2 Circulation System Hierarchy

As shown on the Circulation Element Map Spring Road and Moorpark Avenue (Highway 23) are the major north/south roads which link northern portions of the City to Los Angeles Avenue. Heavy Truck traffic is experienced on Highway 23 traveling to and from the City of Fillmore to the northeast. Once Spring Road has been completed from Charles Street to Walnut Canyon Road, much of the pass through automobile traffic now using Walnut Canyon/Moorpark Avenue should be diverted. It is anticipated that High Street will then carry primarily local traffic in the AM and PM hours in addition to the east/west traffic from the SR 118. Once traffic signals at Casey Road/Walnut Canyon Road, High Street/Moorpark Avenue and Poindexter Avenue/Moorpark Avenue are synchronized, traffic flow along this reach should improve.

#### 3.3 Overall Site Development and Beautification

There are two components to overall design; first is the design of the

amenities along the streets and second is how the site design relates to the street. Streets are truly the public's domain, places where everyone goes and where the image of a place is shaped: places where the vitality of a town or an area is measured largely by the composition and life on its streets. Streets provide an intrinsic opportunity to shape and add character to our communities. By embracing the street as an important public place, we create an environment rather than simply a means to get from point A to point B.

In downtown Moorpark two primary streets play a major role in creating the ambiance and character of the area; High Street and Moorpark Avenue. In order to properly establish a long-term vision, revitalization of the downtown "streetscape" is necessary to establish a blue-print for renovation and new growth. By painting a picture for these two key downtown streets, the City can target a vision for realizing the community's desires for beautifying these important public travel ways in the downtown. Transitional beautification enhancements into the downtown should be considered for Spring Road north of Los Angeles Avenue and Moorpark Avenue near Los Angeles Avenue to provide a sense of entry or gateway to the downtown area.

Site development will take time, money, effort, and partnerships between public and private interests in order to realize its goals. The general goals are

### **3.3.1 General Goals**

- a) Retain, expand and attract selected business opportunities in the downtown and provide amenities to attract shoppers and visitors.
- b) Create public plazas and open spaces that serve as focal points and landmarks for community events.
- c) Provide standards and guidelines for the location, amount, type and quality of new development in downtown.
- d) Promote downtown as a special place for cultural and civic events, dining, entertainment, and shopping.
- e) Focus city and Redevelopment Agency investment and public improvement on the downtown core, giving it the highest priority.
- f) Make provisions for entry statements along key corridors to the downtown, i.e. at Moorpark Avenue near Los Angeles Avenue at Moorpark Avenue and High Street, and Moorpark Avenue and Spring Road.
- g) Encourage property owners and business owners to help maintain and

improve the appearance of the downtown by upgrading and renovating building facades, screening unsightly mechanical equipment, improving the appearance of their storefront sidewalks, cleaning up vacant lots, participating in an active merchants association, developing a downtown icon or logo, and a cooperative plan for compliance and safety in the downtown.

- h) Encourage outdoor seating for food service establishments allowing appropriately permitted encroachments on the public sidewalks to accommodate such activities.

### **3.3.2 Building Renovation and New Development Goals**

- a) New development and expansions of existing buildings downtown shall be consistent with the design standards and guidelines described in the downtown Specific Plan and with the requirements of the zone in which it is located. Infill projects are encouraged to help create the intensity of development traditionally associated with historic downtowns.
- b) New buildings and remodels of existing buildings shall be consistent with the development standards and guidelines in the Specific Plan and the City's Zoning Ordinance.
- c) Buildings which have historic or architectural significance should be preserved, and to the extent possible restored to highlight their traditional materials and architecture.

### **3.3.3 Land Use Goals**

- a) Seek proposals for the development of a retail development, consistent with the specific plan development standards and guidelines, for the property the Moorpark Redevelopment Agency owns along the south side of High Street.
- b) Encourage continued investment in the neighborhoods surrounding the downtown so these neighborhoods continue to improve and remain viable.
- c) Maintain coordination with the VCTC, Union Pacific, and Metrolink to ensure that vacant and under-used sites along the tracks are maintained and developed with compatible uses that are integrated into the downtown.
- d) Encourage evening and weekend activities in the downtown, especially those that support one another such as dining, strolling, art galleries,

crafts, etc.

- e) Actively pursue the relocation of the Post Office in the downtown area to bring more daily use of the downtown area.
- f) Continue to maintain a civic presence in downtown through the expansion of the Civic Center area to provide for an enlarged City Hall and Library.

### **3.3.4 Circulation and Parking Goals**

- a) Enhance pedestrian, bicycle, and automobile circulation facilities.
- b) Pursue directional signage and landscaping in parking lots to help direct traffic and soften the effect of traffic in parking areas.
- c) Encourage facilities that provide for increased pedestrian traffic downtown such as building awnings, gazebos, informational kiosks or directional signs, public restrooms, clearly defined crosswalks and pedestrian ways.
- d) Preserve on-street parking and locate off-street parking in places that are easy to recognize and access, but are well screened from public sidewalks.
- e) Provide more a greater distribution of on-site parking lots to better serve the businesses along High Street.

### **3.3.5 Activities, Events and Promotions Goals**

- a) Create a logo theme in order to establish a downtown identity and develop a program of frequent activities tied to that theme.
- b) Once the concentration of commercial uses increases, investigate the re-establishment of a Downtown Merchants Association or possibly creation of a business improvement district.
- c) The City, Redevelopment Agency, and Downtown Merchants Association should sponsor and encourage festivals, events, and other activities in the downtown.
- d) Encourage citywide and regional promotions of the downtown as a district of the City.



*Construction of a public kiosk along High Street could display announcements to civic functions and a citywide directory*

- e) Consider working with Caltrans, to pursue historic or downtown signage on Highway 23 and Highway 118 to increase regional attraction and tourism.

There are a number of beautification elements for areas within the public right-of-way. Construction of a public kiosk along the south side of High Street could be done on property owned by the Redevelopment Agency. Others can be simply implemented by the City as funding is secured. Use of bollards, low garden walls, courtyards and the like are just a few concepts private property owners could implement with the future development of their property. Other elements of the streetscape beautification plan are described on the following pages.

### 3.3.6 Public Pathways and Plazas

Opportunities exist to connect the downtown through public sidewalk and pathways to private plazas and public gathering spaces. Re-use of the existing gazebo on the south side of High Street is encouraged, or if possible, reconstruction of a larger bandstand structure could provide a functional alternative for public performances.



*Bandstand promotes entertainment and evokes turn of the century character*

Pedestrian and bicycle connections should be encouraged through the use of public sidewalks, private/public paseos, or coves through new buildings to key landmarks such as the church at the corner of Walnut and Charles Streets, and the civic center. The corner of High Street and Moorpark Avenue which is owned by the Redevelopment Agency has the potential to become a pocket park or open space focal point with the opportunity for locating public art within this space.

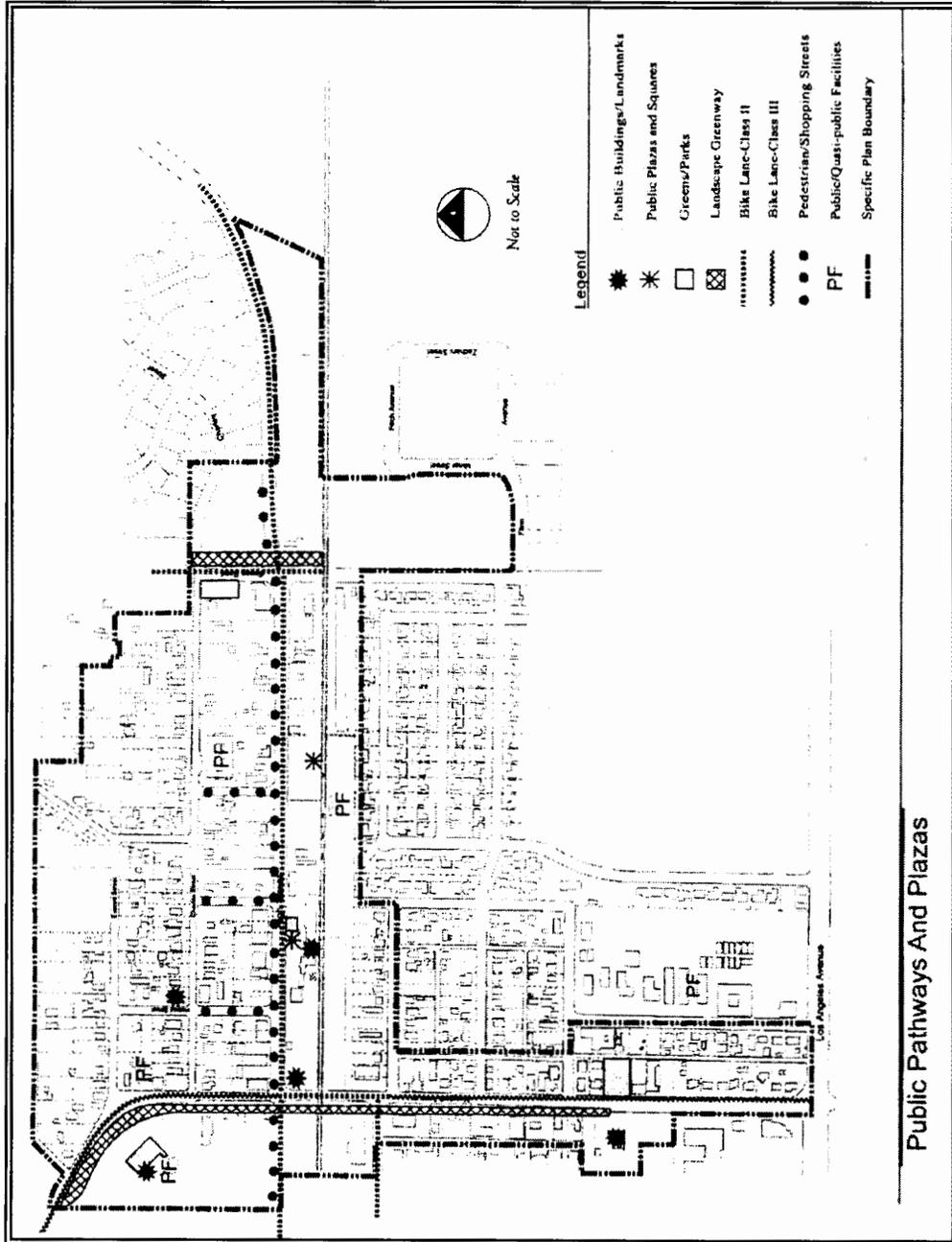
#### **Public Plazas/Parks**

Small plaza areas integrated into the design of the development on the south side of High Street along with strategically located public pocket parks and greens act as an attraction, drawing the public to use these area. Providing public and private open space in the form of plaza and pocket parks also allows for retail commercial to take advantage of this attraction by locating uses such as restaurant and art studios adjacent to them.

Opportunities exist for the City to acquire strategically located lots for a park or public facility. The City is implementing a public pocket park at Magnolia Avenue and Charles Street. This area is protected and will be

increased by the vacation of a portion of Magnolia Avenue. A much needed small play area will be provided for the Charles Street neighborhood. Opportunities also exist to provide a landscaped open space area at Charles Street and Spring Road with the realignment of Spring Road by the developer of the Specific Plan to the north.

Figure 12



This parcel will provide a nice landscape buffer along Spring Road.

### 3.3.7 Street Trees

Street trees should be planted a minimum of 30 feet on center to act as traffic calming devices. Trees should not be planted any closer than ten feet from any driveway. Tree installation shall include 24-inch box size species and they should be staked per City standards. Consideration should be given to using decorative tree grates where planting area is limited and access for the disabled is required. The general tree character shall be compatible with the mature California Peppers on High Street, providing a large canopy of shade for pedestrians as well as substantial greenery to establish rural character. The following species shall be planted unless otherwise specified by the City. On Moorpark Avenue tree planting is currently subject to Caltrans approval.

Street	Botanical Name	Common Name
High Street	<i>Schinus molle</i>	California Pepper
Moorpark Avenue	<i>Prunus blireiana</i>	Flowering Plum
	<i>Pistacia chinensis</i>	Chinese Pistache
	<i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Geijera Parviflora Rutaceae</i>	Australian Willow, Wilga
Magnolia Court	<i>Magnoliagrاندiflora</i> 'MajesticBeauty'	Southern Magnolia (medium size)
Walnut Street	<i>Pistacia chinensis</i>	Chinese Pistache
Bard Street	<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear

### 3.3.8 Medians

With driveway consolidation along Moorpark Avenue and greater use of the existing alley on the east side, opportunities exist in the future for installation of raised and planted medians on Moorpark Avenue. Medians would control vehicle-turning movements and serve to slow traffic and thus reduce noise. The medians will introduce color and greenery and also provide a place for directional signage to parking lots, announcing key intersections, and other downtown features. Installation of a median is subject to Caltrans approval.

### 3.3.9 Lighting

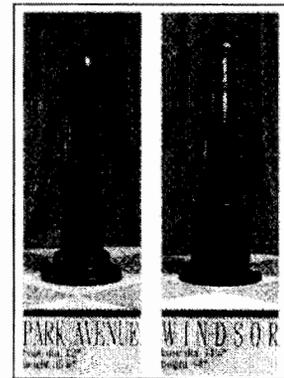
The City of Moorpark has installed decorative theme lights along High Street to enhance the character of the street both with the fixture and with the quality of the lighting. Ultimately, these fixtures should be continued along Moorpark Avenue to the civic center, and south to the gateway feature, which will designate the beginning of the downtown core. Consideration should be given to using these light fixtures as a design element on Magnolia Avenue, Bard and Walnut Streets between High Street and Charles Street to significantly reinforce the small town scale of downtown. The globes are mounted onto concrete fluted poles, which

should be fitted with bracket hangers to accommodate a custom banner with a selected downtown logo, and to advertise festivities and events in the future.

In addition to the decorative street lighting, there should be provisions for lighting flag poles, directional signage, and entrance signage. Lighted bollards should be used in areas such as a public plaza. Bollard style lighting should be similar to the light poles and fixtures and in keeping with the Early American heritage.

### 3.3.10 Street Furnishings

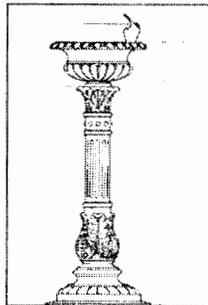
A six-foot bench and trash receptacle should be placed every 200 feet, on average, along High Street and should be clustered at transit stops and public plazas. Decorative planter pots should be placed adjacent to light posts and/or benches with a maximum distance of 50 feet between pots. As the existing benches, trash receptacles and planter boxes need replacing, they should be replaced with benches similar to the Victorian wrought iron and wood bench that now exists, or an appropriate alternate approved by the City of Moorpark Community Development Department. Bike racks, lockers, newspaper racks, etc., should also be carefully located along the street. Drinking fountains should be located in public gathering areas. Bollards should be used to define public plazas and walkways. Properly placed, bollards can delineate between vehicle and pedestrian zones, creating a safe walking environment.



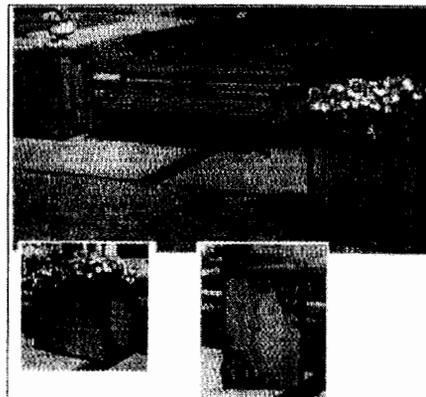
*Victorian style iron bollards demarcate pedestrian walkways*



*Handsomely detailed wood planters are encouraged colorful accents along the street and retail shops*



*Decorative iron drinking fountain should be placed in public areas*



*Victorian style recycled wood and iron benches, trash receptacles, and planters provide needed seating, trash collection, and color to pedestrian areas*

### **3.3.11 Landscaping**

In addition to the street trees and median planting, streetscape planting is an inexpensive and quick way to beautify a street. Planting along Moorpark Avenue and High Street should consist of planter pots, flower boxes on or adjacent to the buildings, parking lot shrub and hedge screens, plaza landscaping, and building setback landscaping. All planting done within the downtown core should be consistent with the suggested plant palette shown in Table 5 in Section 2.2.1. The intent of the plant palette is to complement the historic architecture with plants that emulate those used in gardens in that era. Substituted plants should be used with the approval of the City of Moorpark Community Development Department.

### **3.4 Roadway Improvements**

In addition to streetscape beautification, a number of roadway improvements are suggested. No significant realignment of either Moorpark Avenue or High Street will be required to implement the improvements. Realignment of the intersection of Moorpark Avenue at Poindexter Avenue and First Street is needed to create a four way intersection. This would alleviate the current circuitous route through that intersection for east and west bound traffic on Poindexter Avenue. Additionally there will be a need to consolidate driveways and share parking in order to minimize traffic conflicts along Moorpark Avenue. More effective use of the alley for parking and access for the east side of Moorpark Avenue will also aid in reducing traffic conflicts.

#### **3.4.1 Traffic Calming**

High Street: To assist in attracting customers to the downtown, the traffic speed on High Street needs to be reduced. There are a number of ways in which this might occur through the use of traffic calming methods or devices including, but not limited to blubout or curb extensions, gateway features, raised intersections, and road narrowing through striping for diagonal on-street parking. The City should explore all methods of traffic calming in order to reduce traffic speed, increase safety and make High Street more pedestrian friendly.

Bard Street: A pedestrian activated stop light could be considered at the intersection of High and Bard Streets to facilitate pedestrian crossing of High Street. This would provide a safe point of pedestrian and bicycle crossing and would slow traffic on High Street. It would also have the added benefit of increasing merchant visibility as traffic slows or stops for

crossing pedestrians. Alternatively, consideration should also be given to the use of a "landscaped bulb out" on the curbing at the corner at High Street and Bard Street with the use of a stop sign.

### **3.4.2 Programmed Roadway Improvements**

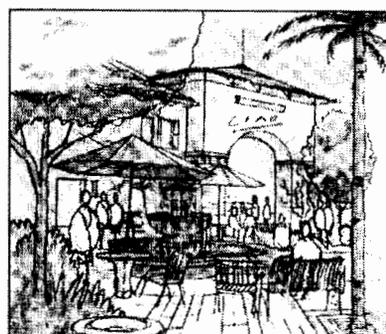
Decorative themed lights have been installed by the City. The decorative light theme should be considered along Spring Road and Moorpark Avenue to enhance the ambience and provide for a greater sense of entry into the High Street area. Improvement to the intersection of Moorpark Avenue at Poindexter Avenue and First Street should be explored to make this a four way intersection. Consideration should also be given to a cul-de-sac at Everett Street and Walnut Canyon, with a street connection to Wicks Road.

### **3.4.3 Re-striping of High Street**

In most small downtown areas that were constructed at in the in the early 1900's on-street parking was diagonal to the curb face. Consideration should be given to re-striping High Street for diagonal parking. Allowance for left turn, right turn and through lanes at the intersections of Walnut and Bard Streets and Spring Road and Moorpark Avenue would have to be made. At these intersections on-street parking may need to be prohibited or restricted in order to accommodate traffic flow and turning movements in peak hours.

### **3.4.4 Vacation of a Portion of Magnolia Street**

Recently the new Fire Station was completed at the northwest corner of Magnolia Street and High Street. In the process of acquiring the site for the Fire Station the Redevelopment Agency acquired the residential lot at the southwest corner of Magnolia Street and Charles Street. This vacant lot is available for conversion to a pocket park and since the portion of Magnolia Street adjacent to this lot is not needed for circulation. The vacation of that portion of the street has occurred and will be added to the park. Providing a park at this location will serve the residents north of High Street providing easy access by pedestrians.



*Magnolia Plaza can provide an important public gathering place and promote retail activity*

### 3.4.5 Realignment of Poindexter Avenue and First Street Intersection

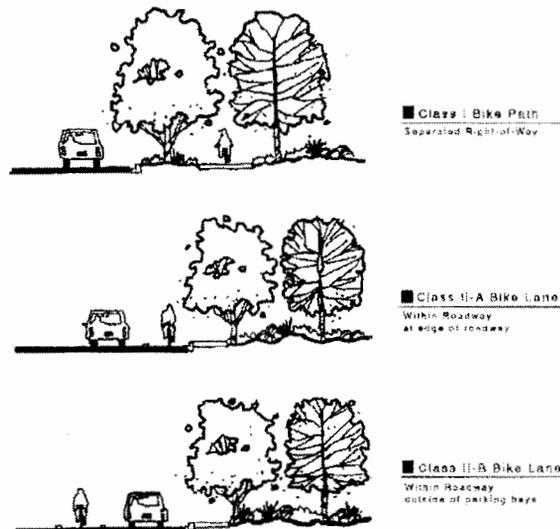
Presently the intersection of Poindexter Avenue and First Street at Moorpark Avenue are off-set causing delays in traffic flow and making pedestrian access circuitous. This intersection should be realigned so that it provides a four way configuration. This realignment would provide more efficient traffic flow, easier signalization, increase the ease of use for pedestrians, and increase pedestrian and traffic safety.

### 3.5 Pedestrian/Bicycle Circulation

Opportunities are available as development occurs to provide a continuous bikeway system through the downtown area connecting the rest of the City. Once the system is connected to the rest of the City, it will make bicycle travel a more attractive means of transportation throughout the City. When complete, the bikeway system will provide safe and convenient Class II bike routes, both within and outside the area. These connections will provide an essential critical link to regional commuter bike traffic.

The bikeway plan is fairly simple and envisions development of Class II-A and B bike lanes along Poindexter Avenue entering the Plan area from the west, connecting to Moorpark Avenue north to High Street, then east along High Street and Los Angeles Avenue to Princeton Avenue. There may be a need to modify the bike lanes to accommodate angle parking for vehicles along High Street. Class II bikeways will also be designated along Spring Road from the south entering the Plan area at Los Angeles/New Los Angeles Avenue and will extend north of Charles Street. Other important connections will be provided on the local streets from Moorpark Avenue to Third Street, and east and then south to the Flory School.

Figure 15



Under Caltrans Bikeway Planning and Design Standards, bikeways are defined in three classes as shown in Figure 15.

**Bikeways are defined by these categories:**

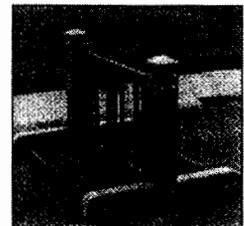
- Class I bike paths:** Bike paths provided within a completely separated right-of-way for the exclusive use of bicycles and pedestrians, with cross-flow of motorists minimized minimum eight feet wide.
- Class II-A bike lanes:** Provides a striped lane for one-way bike travel on a street or highway. Class IIA bike lanes are located between the parking stalls and the traffic lanes, minimum five feet wide.
- Class II-B bike lanes:** The same as Class IIA, except the bike lane is located in areas where there is no on street parking and is adjacent to the curb. Minimum width four feet where there is no gutter.
- Class III bike routes:** Bike routes provided within the street right-of-way designated by signs or permanent markings. Re-striping of bike lanes will connect to existing and planned bike lanes outside of the Specific Plan area. High Street is being reclassified as a Class II bike route to better facilitate pedestrian and bicycle access to the downtown core.

**3.5.1 Bicycle Racks and Bench/Rest Stops**



While no specific locations have been designated in the plan, bicycle racks and bench/rest stops should be placed on both Moorpark Avenue and High Street in order to increase ridership.

Bench/rest stops can consist of a simple bench, seating area, and canopy trees for shade. Bicycle racks can be simply bolted to an existing sidewalk, a plaza, or a paving space in key areas such as downtown.



*Bike racks should be functional yet detailed to complement the historic charm of downtown*

**3.5.2 Pedestrian Walkways**

Currently, the existing sidewalk and crosswalk connections from the civic center to downtown, as well as along Moorpark Avenue north to the

Metrolink parking lot are interrupted and not well defined. Opportunities exist for bulbouts, neckdowns and defined pedestrian crosswalks in various locations, that will make pedestrians feel more safe and promote walking convenience.

### **3.6 Public Transit**

#### **3.6.1 Bus Transit**

The City currently has a public transportation system which serves the needs of persons living and/or working in the community. Improved public transit to the downtown will increase pedestrian circulation and decrease vehicular trips both through and to the area. Bus connections to Amtrak and the Metrolink station could be used by commuters as well as visitors to the downtown.

#### **3.6.2 Rail Service**

Amtrak and Metrolink currently serve Moorpark both for regional trips as well as intra-state service. The rail stop is located off of High Street and Moorpark Avenue. As this service increases there is sufficient land south of the railroad tracks to provide both short-term and long-term parking. Ingress and egress to this south parking area should be examined in light of any realignment of the Poindexter Avenue/First Street and Moorpark Avenue intersection. Alternative for safer and more convenient access should be explored.

Ongoing coordination with both VCTC and Union Pacific will be necessary to ensure the safe crossing, at grade at the Metrolink station continues, as well as appropriate buffers be accommodated along the rail lines and the City-owned parcels. Further, in order for the City to pursue development of the High Street property, an agreement that allows vehicle access and parking on a portion of the VCTC right-of-way is necessary. Preliminary discussions with VCTC staff have indicated their willingness to support this use provided setbacks, fencing and buffer criteria can be met. Written correspondence from VCTC staff indicating their support for this use can be found in the Appendix to this Plan.

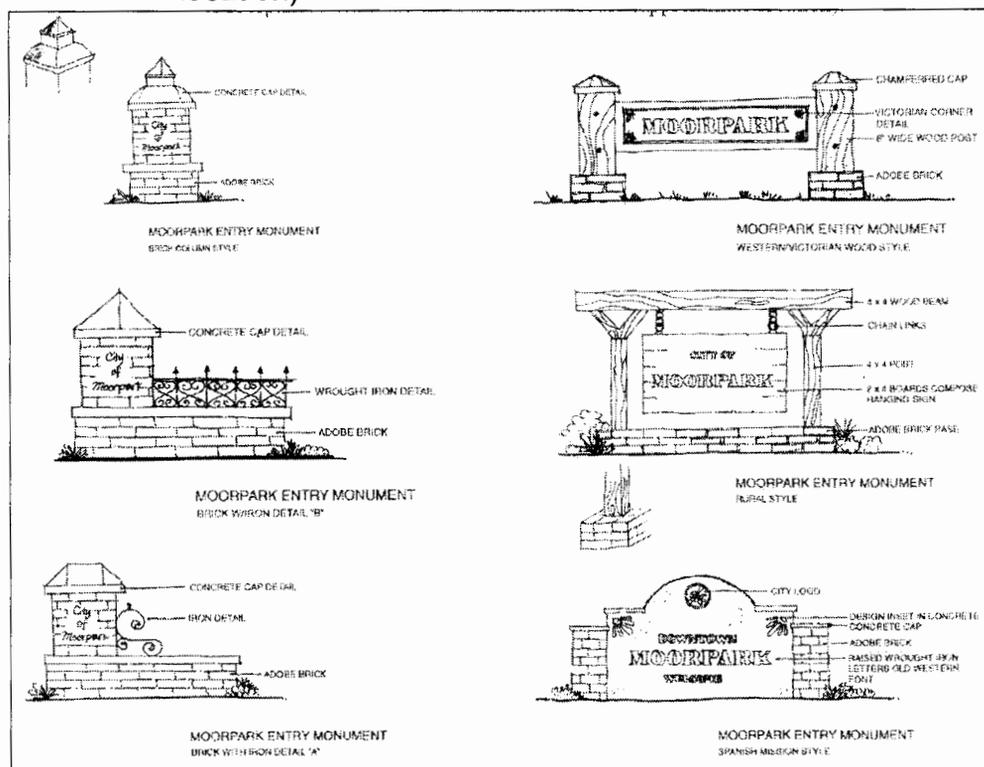
### **3.7 Gateways and Signage**

#### **3.7.1 Designated Gateway Locations**

To facilitate circulation into the downtown and recognize the downtown as a special place in the City, entry monuments should be constructed at the following gateway locations and coordinated with CalTrans or private land owners as appropriate. These entry monuments should be subtle, classy

structures that reflect the character of the downtown. Signage should reflect a downtown logo and directional arrows to key stopping points and uses. Signs should be lighted, landscaped, and placed prominently at the back of the sidewalk or as possibly an over-the-street structure. The following gateway locations are suggested:

- High Street and Moorpark Avenue
- High Street and Spring Road
- Moorpark Avenue and Los Angeles Avenue (approximate location)



### 3.8 Parking

Parking in the downtown specific plan area is divided into separate areas, i.e. High Street and Moorpark Avenue. Parking requirements for Moorpark Avenue ~~shall~~ should be consistent with the parking requirements of the City's Zoning Ordinance. Special consideration should be given to the High Street area for its parking requirements due to the nature of the area, its state of development and its prominence in the community. While parking should still be convenient, consideration should be given to High Street as a shopping center or district and allow on-street parking to be counted toward the current Zoning Ordinance standard. Off-street parking, both private and public, should be placed behind buildings whenever possible. Parking lots can be created behind proposed and

existing buildings and reciprocal access and parking agreements ~~shall~~should be utilized to maximize shared parking and consolidating access. Directional parking sign should also be utilized to guide customers to parking areas.

### **3.8.1 Parking Conditions on High Street and Surrounding Streets**

A parking survey was performed for the High Street, Walnut Street area taking count of on-street and off-street parking that has been provided. On-street parking was based upon actual counts of the existing parking on Walnut Street and an estimate of 105 angle parking spaces that would be striped on High Street. Building square footages were estimated for all existing commercial buildings not including the theater. The total square footage of the existing commercial building is 108,300 square feet, requiring 361 parking spaces based upon a ratio of one space for each 300 square feet of building square footage. Approximately 105 diagonal on-street parking spaces can be provided on High Street with an additional 32 parking spaces on Walnut Street for a total of 137 spaces. Based upon an actual count of the existing off-street parking, there are a total of 143 parking spaces. Parking for the theater is currently accommodated on the land owned by the Redevelopment Agency, but this is only a temporary measure. Future parking for the theater is anticipated to be in the area of the Civic Center on the west side of Moorpark Avenue, a short distance from the theater.

### **3.8.2 Parking Conditions on Moorpark Avenue**

Development along the east side of Moorpark Avenue south of First Street is still primarily in existing single family homes. There are a few commercial developments that have occurred, all of which meet the current parking requirements of the Zoning Ordinance. Development on the west side of Moorpark Avenue is primarily commercial and has existing parking or sufficient areas of land to meet the current parking requirements of the Zoning Ordinance. On street parking on Moorpark Avenue is not permitted nor anticipated in the future.

### **3.8.3 Parking Recommendations**

Parking along the reach of High Street and its surrounding streets will be sufficient to meet current and future demand if the following recommendations are implemented:

- a) Development of the Redevelopment Agency owned property must be at a parking ratio consistent with the Zoning Ordinance.
- b) Parking for the theater must be accommodated in the plans for

the future Civic Center.

- c) Reciprocal access and parking agreements must be required for all new development. Additional driveways should be minimized and shared driveway access required where physically feasible.
- d) Parking areas should be located behind the buildings whenever physically possible.
- e) Limited term parking along High Street.

Parking along Moorpark Avenue will be sufficient to meet current and future demand if the following recommendations are implemented:

- a) Development of all property must be at a parking ratio consistent with the Zoning Ordinance.
- b) Properties on the east side of Moorpark Avenue shall utilize the alley for ingress and egress to its parking areas.
- c) Reciprocal access and parking agreements must be required for all new development. Additional driveways should be minimized and shared driveway access required where physically feasible.
- d) Parking areas should be located behind the buildings whenever physically possible.

#### **3.8.4 Parking Management Plan**

As the High Street and surrounding area builds out, parking demand may increase and parking management may be necessary. The following recommendations should be implemented in anticipation of future need:

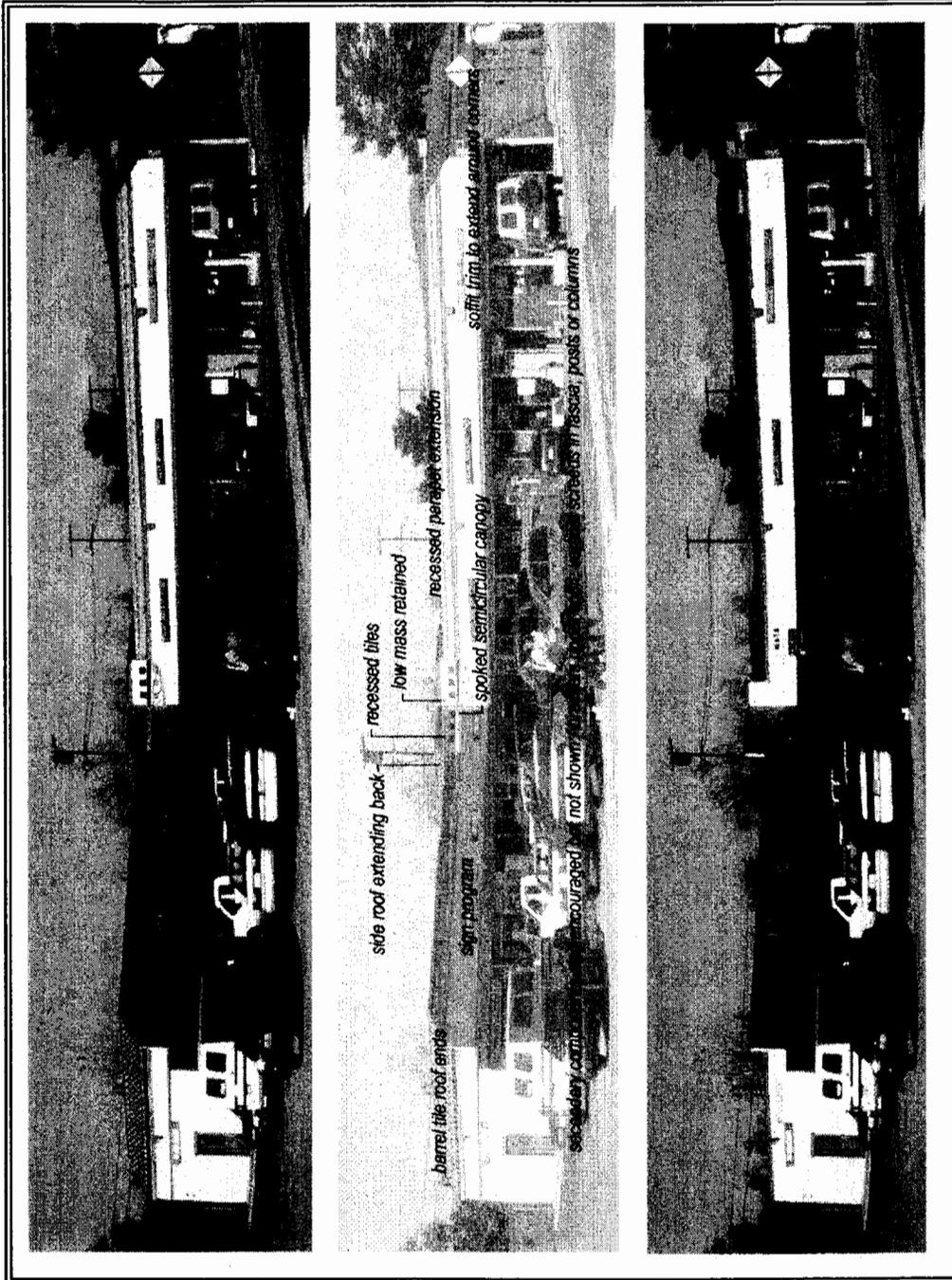
- a) Annually adjust the in-lieu parking fee based upon the construction cost index.
- b) Periodically review parking restrictions to make sure that long term parking is limited and there is an adequate number of parking space turnover.
- c) Work with the downtown merchants to conduct a program so that employees do not park in street curb spaces.
- d) Negotiate with VCTC for the sale of the existing Metrolink parking lot and the adjacent vacant land so that additional parking can be made available to the High Street and surrounding area. Utilize the parking in-lieu fee to pay back the

cost of acquisition.

- e) Work with the VCTC to relocate Metrolink and Amtrak parking to the south side of the railroad tracks so that parking lots on High Street are available for customers of the High Street merchants.
- f) Provide signage to publicly owned, leased, or used lots.
- g) Provide pedestrian amenities, access and directional signs to public lots.

# EXHIBIT 3

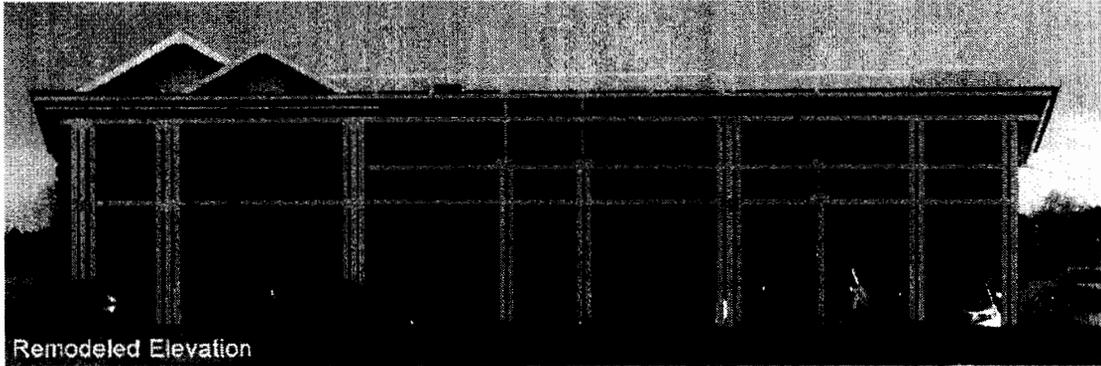
## WESTSIDE OF MOORPARK AVENUE AT LASSEN AVENUE



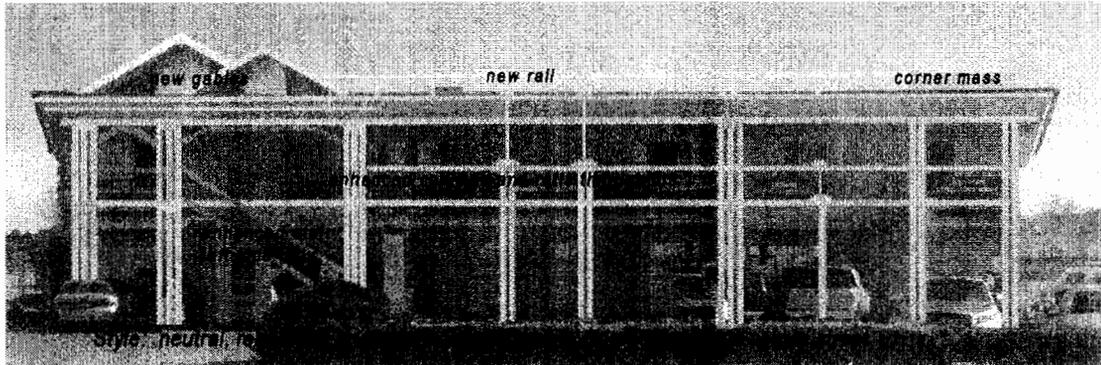
WESTSIDE OF MOORPARK AVENUE AT LASSEN AVENUE



EASTSIDE OF MOORPARK AVENUE, NORTH OF FIRST STREET



Remodeled Elevation

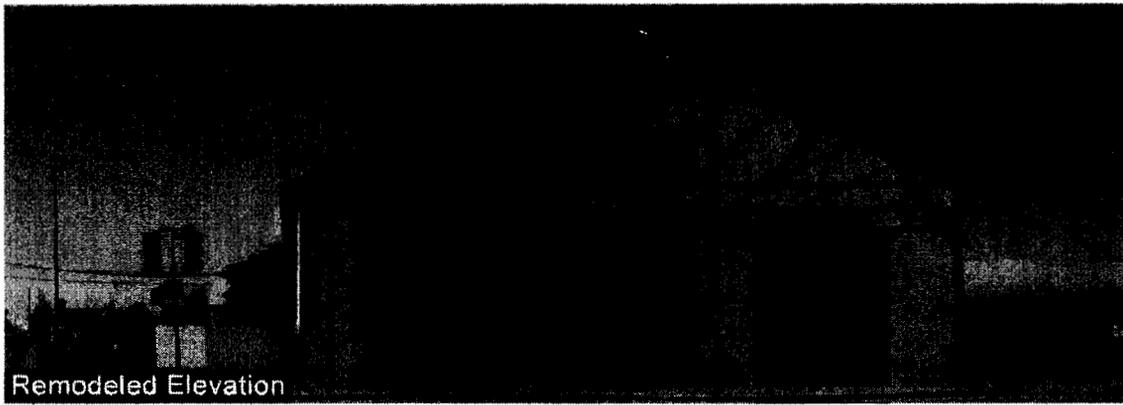


style neutral to

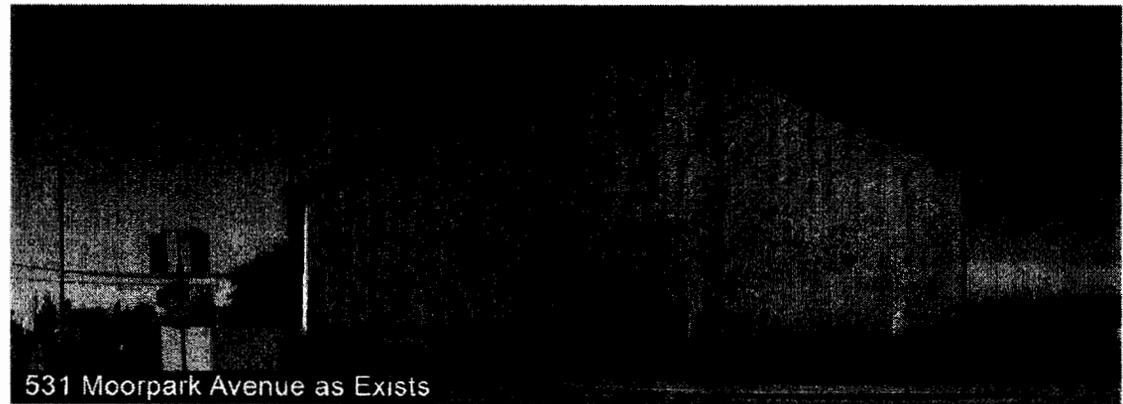


530 Moorpark Avenue as Exists

WESTSIDE OF MOORPARK AVENUE AT POINDEXTER AVENUE

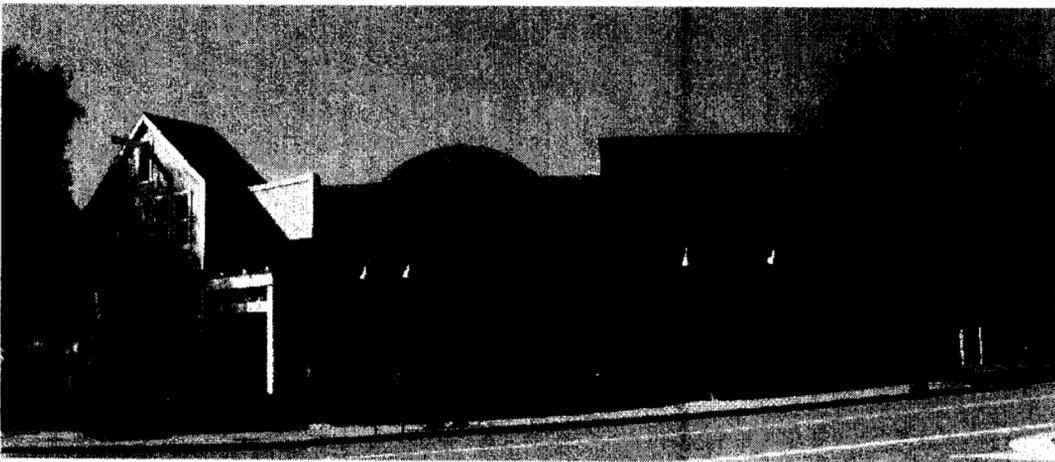
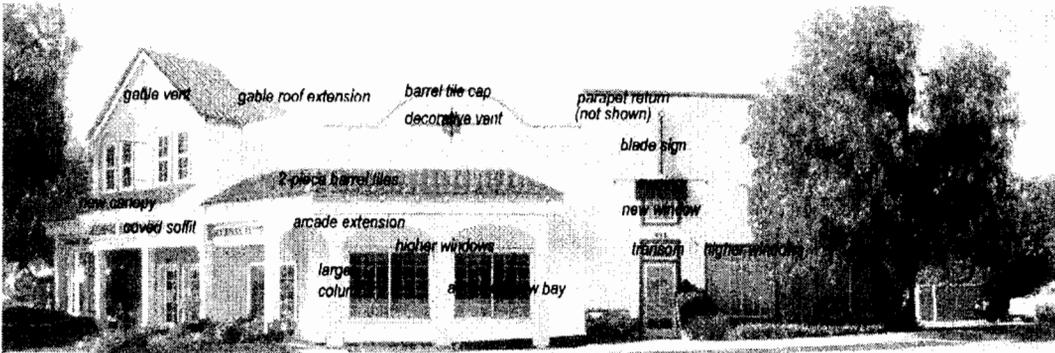


Remodeled Elevation



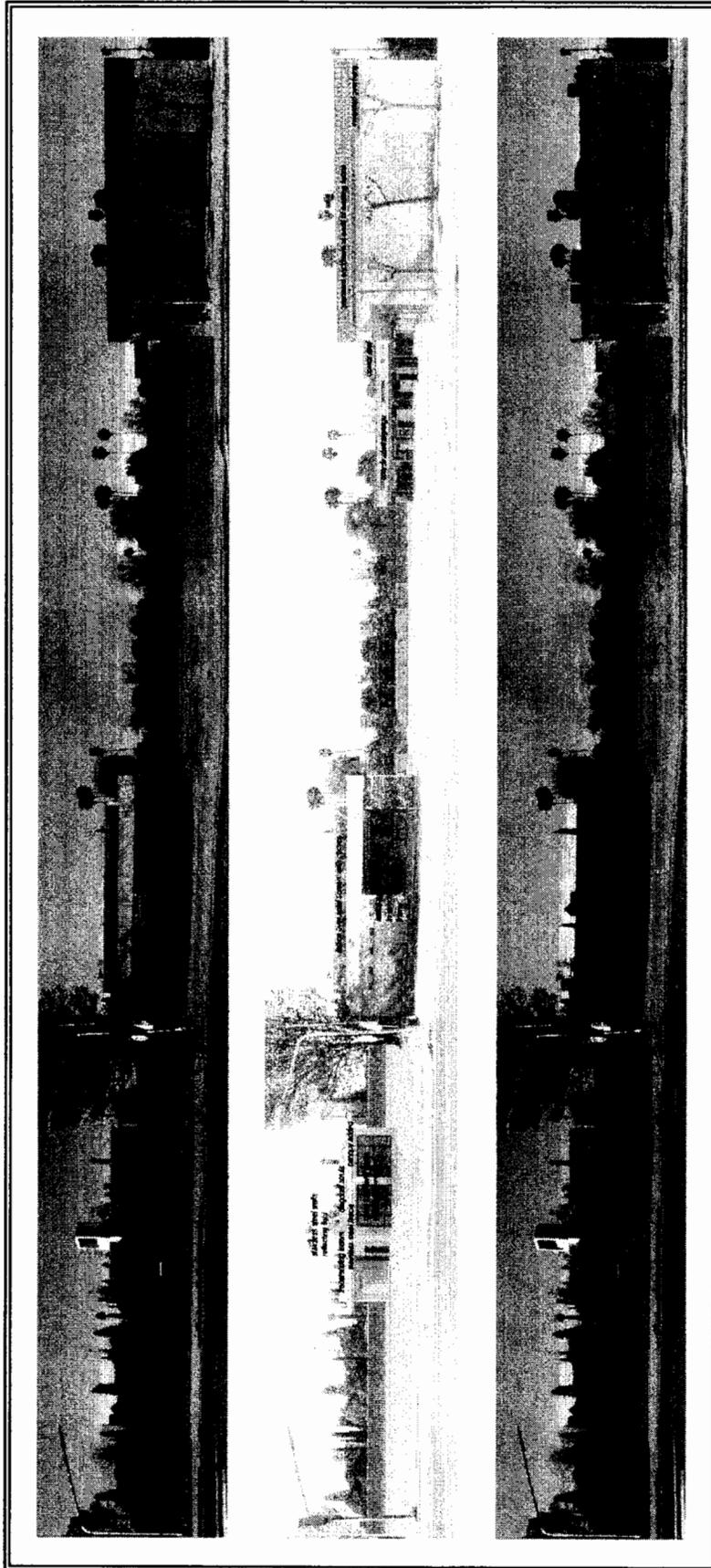
531 Moorpark Avenue as Exists

NORTH SIDE OF HIGH STREET AT SPRING ROAD



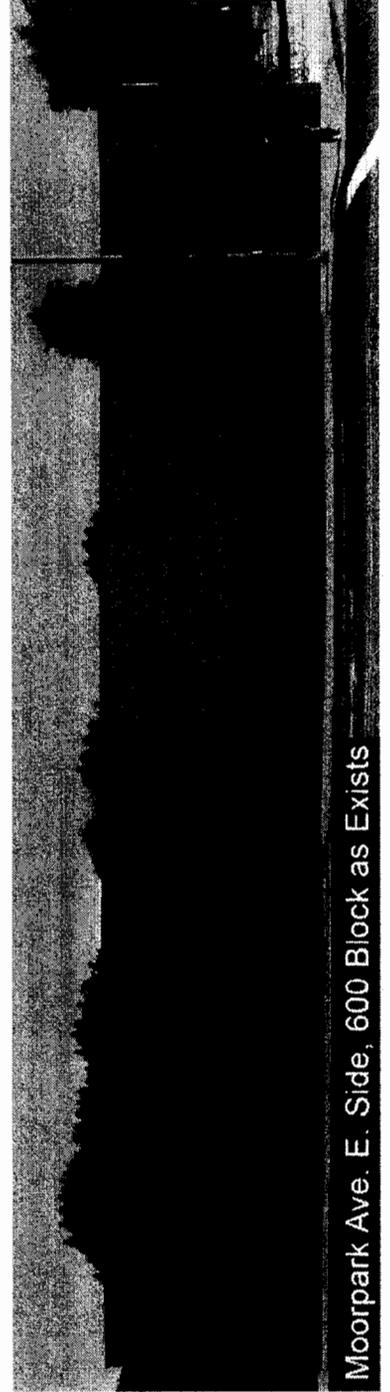
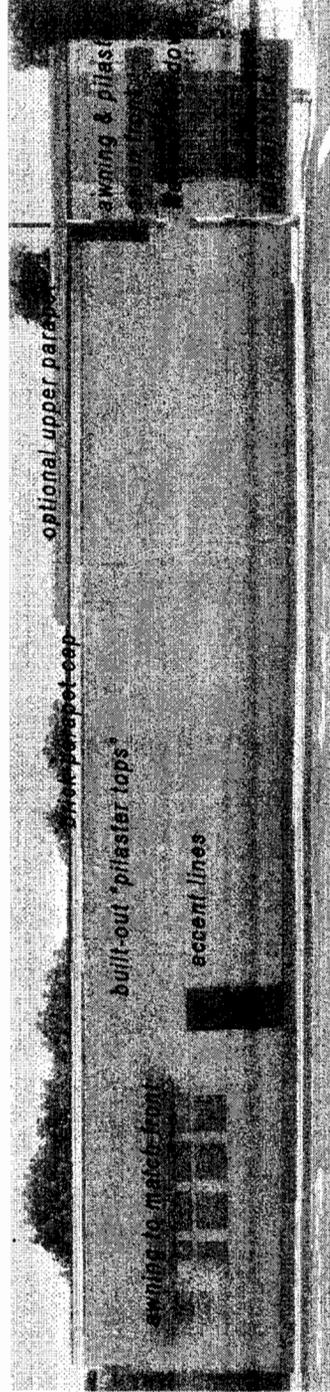


WESTSIDE OF MOORPARK AVENUE BETWEEN SECOND STREET AND THIRD STREET

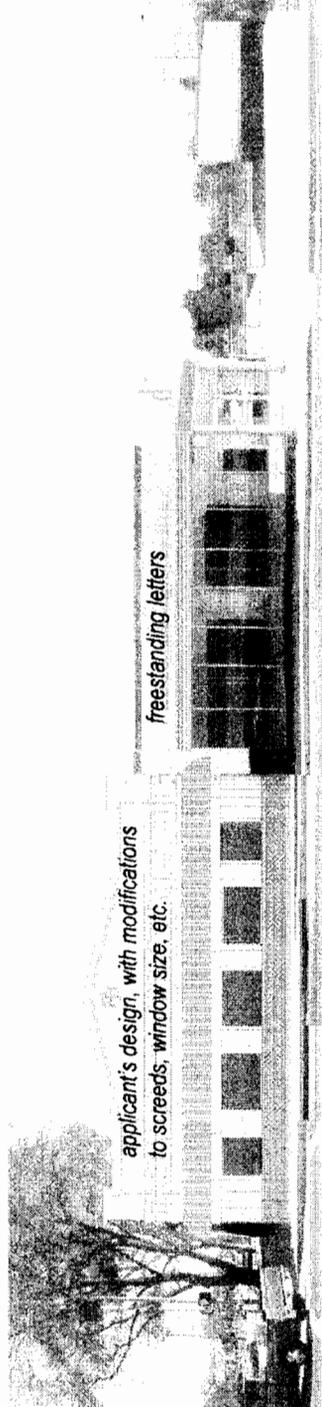
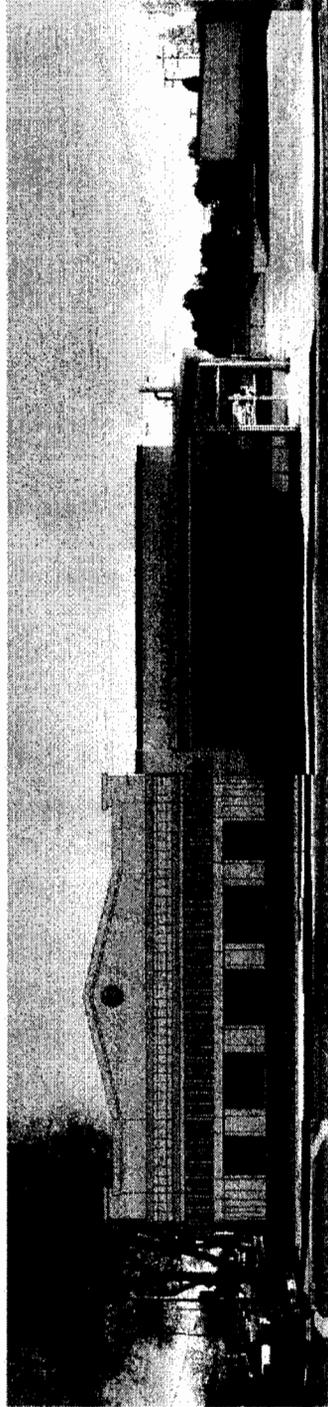




EASTSIDE OF MOORPARK AVENUE, NORTH OF HIGH STREET

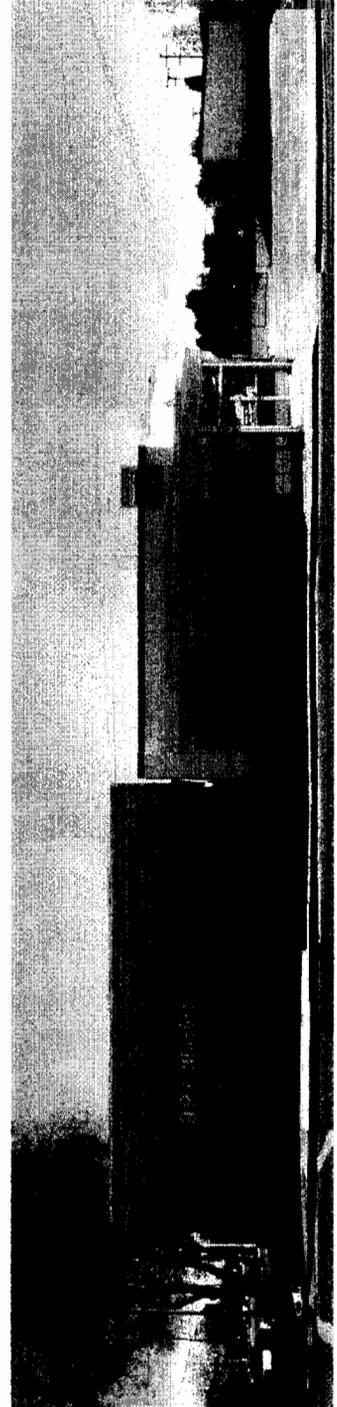


EASTSIDE OF MOORPARK AVENUE, SOUTH OF FIRST STREET



*applicant's design, with modifications  
to screeds, window size, etc.*

*freestanding letters*



SOUTHWEST CORNER OF MOORPARK AVENUE AND POINDEXTER AVENUE

